



COUNCIL AGENDA – 15 – 2019 MUNICIPALITY OF HURON EAST
to be held on
TUESDAY, JULY 16th, 2019 – 7:00 p.m.
HURON EAST COUNCIL CHAMBERS

1. **CALL TO ORDER & MAYOR'S REMARKS**
2. **CONFIRMATION OF THE AGENDA**
3. **DISCLOSURE OF PECUNIARY INTEREST**
4. **MINUTES OF PREVIOUS MEETING**
 - 4.15.1 Regular Meeting – July 2nd, 2019 (encl.) (Pages 4-10)
5. **PUBLIC MEETINGS/HEARINGS AND DELEGATIONS**
 - 5.15.1 7:00 p.m. – Public Meeting – Zoning By-Law Amendments (see Agenda enclosed) (Pages 11-36)
 - John & Michelle Wilson
 - **Motion** – effect of public and agency comments on decision of Council
 - Housekeeping Amendments
 - a) zoning provisions for cannabis production facilities
 - b) clarify front yard setbacks for dwellings within urban settlement areas is 6 metres from municipal or county roads
 - **Motion** – effect of public and agency comments on decision of Council
 - 5.15.2 7:30 p.m. – Minor Variance Application (see Agenda enclosed) (Pages 37-44)
 - 15.15.2.1 Tripod Properties (c/o Joe Dekroon) A07/2019
(Ord Street, Lots 221 and 222, Plan 389, Seaforth Ward)
(Decision Deferred at June 18th, 2019 meeting)
 - PLANNING**
 - 5.15.3 Huron County Planning and Development Department – copy of Planners Report on consent application C24/19 on Lots 221 and 222, Plan 389, Seaforth Ward, Tripod Properties, c/o Joe Dekroon. (Deferred at June 18th, 2019 meeting) (encl.) (Pages 45-52)
 - 5.15.4 Huron County Planning and Development Department – copy of Planners Report on Site Plan Agreement on Lot 18, Plan 133, Vanastra, Tuckersmith Ward, Wozniak Welding and Fabrications. (encl.) (Pages 53-55)
 - 5.15.5 Huron County Planning and Development Department – copy of Planners Report on Site Plan Agreement on Part Lots 53 and 54, Concession 1, Grey Ward, Molesworth Farms. (encl.) (Pages 56-58)
 - 5.15.6 7:45 p.m. – Reconstruction County Road 12, Seaforth
 - BM Ross & Associates Limited – Reconstruction – Phase 2 Goderich Street to Lloyd Eisler Street (encl.) (Pages 59-66)
6. **ACCOUNTS PAYABLE** \$2,495,096.79 (encl.) (Pages 67-76)

7. REPORTS & RECOMMENDATIONS OF MUNICIPAL OFFICERS

- 7.15.1** Public Works Coordinator – Tenders (encl.) (Pages 77-78)
HE-10-2019 – Supply grader fully equipped and personnel to plow snow for 3-year term
HE-11-2019 – Tandem Truck fully equipped and personnel to plow snow for a 3-year term
- 7.15.2** CAO/Clerk – Elizabeth Street Municipal Parking Lot (encl.) (Pages 79-82)

8. CORRESPONDENCE

- 8.15.1.** Seaforth Community Hospital Foundation – requesting permission to hang the CKNX Health Care Heroes Radiothon Banner on Highway 8 for the month of October. (encl.) (Page 83)
- 8.15.2.** City of Brantford – resolution requesting that additional local regulatory controls be approved by the Province of Ontario around retail cannabis stores. (encl.) (Pages 84-86)
- 8.15.3.** Tanner Steffler Foundation – advising of the Six-String Music Fest being held on July 27th, 2019 at the Seaforth Agriplex and requesting a resolution declaring the event to be of municipal significance. (encl.) (Page 87)

9. UNFINISHED BUSINESS

- 9.15.1** Strategic Planning
- 9.15.2** Main Street Seaforth – Pedestrian Crossing

10. MUNICIPAL DRAINS**11. PLANNING**

- 11.15.1** Huron County Planning and Development Department – copy of consent application C51/19 on Part Lot 28 and Part Lot 29, Concession 9, McKillop Ward, Steven Matthew Haney (encl.) (Pages 88-95)

12. COUNCIL REPORTS

- 12.15.1** Council Member Reports
→ County Council Report
→ Other Boards/Committees or Meetings/Seminars
- 12.15.2** Requests by Members
- 12.15.3** Notice of Motions
- 12.15.4** Announcements
12.15.4.1 – CAO/Clerk – Ryan O'Reilly Update

13. INFORMATION ITEMS

- 13.15.1** Huron East/Seaforth Community Development Trust – copy of meeting minutes – June 6th, 2019. (encl.) (Pages 96-99)
- 13.15.2** Association of Municipalities of Ontario – advising AMO Executive Director Pat Vanini will be retiring. (encl.) (Pages 100-101)
- 13.15.3** Council Expenses – June 2019 (encl.) (Page 102)

14. OTHER BUSINESS

15. BY-LAWS

- 15.15.1** By-Law 50-2019 – Site Plan Control Agreement – Part Lots 53 and 54, Concession 1, Grey Ward, Molesworth Farm Supply (encl.) (Pages 103-115)
- 15.15.2** By-Law 51-2019 – Site Plan Control Agreement – Lot 18, Plan 133, Vanastra, Tuckersmith Ward, Wozniak Welding and Fabrications (encl.) (Pages 116-126)
- 15.15.3** By-Law 52-2019 – Zoning Amendment – Part Lot 9, Concession 1, HRS, Tuckersmith Ward, Part 4 of RP 22R-2898, Seaforth Ward, John and Michelle Wilson (encl.) (Pages 127-132)
- 15.15.4** By-Law 53-2019 – Zoning Amendments – Housekeeping (encl.) (Pages 133-135)

16. CLOSED SESSION AND REPORTING OUT (Section 239 of the *Municipal Act, 2001*)**17. CONFIRMATORY BY-LAW**

- 17.15.1** By-Law 54-2019 – Confirm Council Proceedings (encl.) (Page 136)

18. ADJOURNMENT

4-15-1

MUNICIPALITY OF HURON EAST COUNCIL MEETING MINUTES
HELD IN THE COUNCIL CHAMBERS, SEAFORTH, ONTARIO
TUESDAY, JULY 2nd, 2019 – 7:00 P.M.

Members Present: Mayor Bernie MacLellan, Deputy Mayor Robert Fisher,
 Councillors Alvin McLellan, Zoey Onn, John Lowe, Brenda Dalton
 Gloria Wilbee, Joe Steffler, Larry McGrath and Ray Chartrand

Members Absent: Councillor Dianne Diehl

Staff Present: CAO/Clerk, Brad Knight
 Finance Manager-Treasurer/Deputy Clerk, Paula Michiels
 Public Works Coordinator, Barry Mills
 Executive Assistant, Janice Andrews

Others Present: Shawn Loughlin, Editor, The Citizen

The following were in attendance for the delegation regarding the application of Pol Quality Homes for a Draft Plan of Subdivision, Official Plan Amendment No. 10 and Zoning By-Law Amendment on Parts 1 and 3, RP 22R-5599, Part Lot 25, Concession 1, McKillop Ward.

- John Kerr, GM BluePlan Engineering, Municipal Engineer
- Huron County Planning and Development Department Senior Planner Denise Van Amersfoort
- Richard Pol, Developer/Builder, Pol Quality Homes Inc.
- Brandon Flewwelling, MCIP, RPP – Associate, Senior Planner, GSP Group Inc., planning consultant for the applicant
- Montana Wilson, M. Eng., P. Eng. – Manager, Civil, MTE Consultants Inc., engineering consultant for the applicant
- Neighbouring property owners Gary Rose, George Elliott, Dave McMaster, Rose McMaster, Bruce Wilbee, Glen Beuerman, Marilyn Beuerman, Ralph Otten, Elva Otten, Paul Matthews, JoAnne Matthews, Gabriele Enk, Pauline Schwarz, Mark Wammas, Dean Wood and Mark King

CALL TO ORDER & MAYOR'S REMARKS

Mayor Bernie MacLellan called the meeting to order at 7:00 p.m.

CONFIRMATION OF THE AGENDA

Moved by Gloria Wilbee and seconded by Alvin McLellan: Adopt Agenda
 That the Agenda for the Regular Meeting of Council dated July 2nd, 2019
 be adopted as circulated. Carried.

DISCLOSURE OF PECUNIARY INTEREST

Councillor Joe Steffler declared a pecuniary interest on Information Item 13.14.2 (Six-String Music Fest) as Tanner Steffler is his grandson.

MINUTES OF PREVIOUS MEETING

Moved by Joe Steffler and seconded by Raymond Chartrand: Meeting Minutes
 That Council of the Municipality of Huron East approve the following Council
 Meeting Minutes as printed and circulated:
 a) Regular Meeting – June 18th, 2019
 b) Public Hearing – June 18th, 2019 Carried.

PUBLIC MEETINGS/HEARINGS AND DELEGATIONS

7:00 p.m. Pol Quality Homes – Draft Plan of Subdivision
 Parts 1 and 3, RP 22R-5599, Part Lot 25, Concession 1, McKillop Ward

John Kerr, Professional Engineer of GM BluePlan Engineering, attended before Council to provide a review of the proposed storm water management plan for the plan of subdivision. Mr. Kerr advised that as the municipal engineer, he has worked closely with the County Planner, CAO/Clerk, Public Works Coordinator as well as the proponent's engineer to review the application. Mr. Kerr noted that prior to final approval, registration and construction, the proponent would be required to submit a supplementary detailed storm water management report to the Municipality and that an application would have to be filed with the Ministry of Environment and Climate Change for approval of the storm water management plan.

Mr. Kerr advised the proposed storm water management pond/facility will be located in the south west corner of the subject property which was an appropriate and reasonable location as it is the lowest area of the property. He noted that there was an existing catch basin in this area that collects surface water and outlets to a drain on Chestnut Road. He noted that all drainage from the proposed subdivision will outlet into the storm water pond and then will be released through a controlled outlet into the storm drain on Briarhill Road. He indicated that he had reviewed the calculations of MTE Engineering and had taken into consideration the capacity of the outlet. He concluded that the pond was slightly oversized and that the peak flows were no greater than current pre-development conditions and the design matched the existing reserve capacity in the existing storm sewer system.

Mr. Kerr noted that the Municipality and the Developer would have to work out the details of extending 450 mm Briarhill Road storm drain approximately 100 metres to the edge of the proposed development, but noted this would be addressed in a development agreement. He concluded that he was satisfied with the storm water calculations and design and had no concerns with draft plan approval from a storm water perspective.

Huron County Planning and Development Department

Senior Planner Denise Van Amersfoort reviewed her reports to Council dated June 26th, 2019 concerning the draft plan of subdivision, official plan and zoning by-law amendment on Parts 1 and 3, RP 22R-5599, Part Lot 25, Concession 1, McKillop Ward with the following points being highlighted.

Ms. Van Amersfoort advised the proposed draft plan of subdivision, official plan and zoning by-law amendment had been considered at a public meeting on June 4th, 2019. It was noted that members of the public had submitted verbal comments at the public meeting noting concerns relating to drainage, single point of access (particularly in the case of an emergency), increased vehicular traffic on Briarhill Road, increased density, lack of sidewalks in the existing Briarhill Subdivision, and construction impacts. She noted that subsequent to the public meeting, staff had provided additional information to several residents

Ms. Van Amersfoort advised the proposed Plan of Subdivision conforms to section 51 (24) of the Planning Act and is consistent with the vision and direction provided in the Provincial Policy Statement and the County of Huron and Huron East Official Plans. Ms. Van Amersfoort also advised the issues raised by agencies and members of the public and issues of concern to the Municipality of Huron East are addressed by the list of recommended conditions attached to the Plan of Subdivision.

The Huron County Planning and Development department recommended Council support the Plan of Subdivision File 40T19001 with the attached conditions, and forward to the County of Huron for Draft Plan approval.

Ms. Van Amersfoort advised the proposed Zoning By-Law Amendment facilitates development which contains a diversity of housing types and affordabilities, promotes the mixing of densities by integrating single detached and multiple attached dwellings, is located within proximity to several community facilities, and is considerate of the established neighbourhood. She noted the amendments for the proposed multiple attached dwellings include a number of minor reductions from the standards established by the Huron East Zoning By-Law but the cumulative impact of these reductions did not detract from the overall compatibility with the surrounding area and helps to achieve a more compact form of development with increased density and affordability. She advised that the Planning Department recommended one additional amendment for the multiple attached dwelling lots being the prohibition of accessory buildings. She supported prohibition of accessory building noting the limited width of the units and the required easements and drainage requirements in the back yards. She concluded that the requested Zoning By-Law Amendment for the Plan of Subdivision lands is considered appropriate and is consistent with the direction and vision of the Huron East Official Plan. She noted that a motion would be required under Section 34(17) of the Planning Act to acknowledge that minor changes were made to the By-Law since the time of the Public Meeting but that no further notification is required.

Mrs. Van Amersfoort advised the purpose of the Official Plan Amendment No. 10 is to change the designation of the subject lands from Urban to Residential and Urban Natural Environment and Open Space, and permit a Special Policy Area wherein the maximum number of multiple attached units per building is 7 (seven) when the Huron East Official Plan currently limits to 4 (four). She advised that the Huron County Planning and Development Department was recommending that Council adopt Official Plan Amendment No. 10 to the Huron East Official Plan and forward to the County for approval.

Brandon Flewwelling, MCIP, RPP – Associates, Senior Planner, GSP Group Inc.,

Brandon Flewwelling, planning consultant for the developer, advised Council he was in full support of the application and the Planner's report however he did raise a concern regarding the amendment for the multiple attached dwelling lots that accessory buildings be prohibited.

Questions/Comments of Council

1. Councillor John Lowe questioned whether the multiple attached dwelling lots would be individually fenced.

Response: Mr. Flewwelling advised that some form of privacy fencing is possible and will be considered in the detailed design of the lots.

2. Councilor Alvin McLellan questioned what the distance would be from the back of the houses to the back of the lots.

Response: Mr. Flewwelling advised detailed design is not finalized however the minimum is 8 metres.

3. Deputy Mayor Robert Fisher questioned who would be maintaining the swale.

Response: Montana Wilson, engineering consultant for the applicant advised the swale will be a simple depression in the back yard to direct surface flows and would require limited maintenance.

Questions/Comments from the Gallery

1. A Briarhill resident noted that the location of the storm water management pond has been maintained (cut) and if the Municipality assumed ownership that it continue to be maintained in a similar manner.
2. Glen Beuerman expressed concerns on how much water the storm water management pond would hold and had consideration been given to water coming from the Agri-Plex, arena and surrounding area, also what size of pipe would be coming out of the pond.

Response: John Kerr advised the pond has sufficient volume rate of inflow and outflow for a 100-year storm event and it was noted that if flows exceeded the 100-year storm event that the pond was designed to overflow onto Briarhill Road. He noted several specifics of the storm water pond design; the Pol subdivision would drain into the pond via a 600 mm inlet and water would be discharged through a 250 mm outlet into a 450 mm storm drain on Briarhill Road which eventually increases in size to 525 mm. He noted that the storm water pond was designed for a fully developed subdivision but noted the developer was proposing to develop in in 3 phases resulting in significant excess capacity for the first phase of the development.

3. A Briarhill resident questioned the need for the proposed walkway as it didn't go anywhere.

Response: Ms. Van Amersfoort acknowledged the proposed walkway did not outlet onto a road allowance but it was adjacent to the Agricultural Society property and that it may be extended at a latter date. She further noted that if the walkway was not proposed at the present time, it may be more difficult to incorporate it at a latter date.

Moved by John Lowe and seconded by Raymond Chartrand:

THAT WHEREAS the Council of the Municipality of Huron East has pursuant to Sections 22 (1) and 34 (12) of the Planning Act, 1990, has held a public meeting for By-Law 47-2019 (Official Plan Amendment No. 10) and Zoning By-Law 48-2019; AND WHEREAS public comments were received relating to drainage, single point of access, increased vehicular traffic on Briarhill Road, increased density, lack of sidewalks in existing Briarhill Subdivision, and construction impacts; the comments were noted and additional information has been provided to those who made requests; AND WHEREAS agency comments were received from Maitland Valley Conservation Authority, Canada Post, Enbridge Gas, Historic Saugeen Metis, Huron Perth Catholic District School Board, Drinking Water Source Protection and Huron County Planning & Development; there are no objections or concerns from any agency; AND WHEREAS the comments from members of the public and agencies have thoroughly been considered by Council, but the effects of such comments did not influence the decision of Council to approve the application;

NOW THEREFORE, pursuant to Section 34 (18) of the Planning Act, 1990, Council concurs with the June 26th, 2019 Planning Report and recommends By-Laws 47-2019 and 48-2019 for approval. Carried.

Decision
OPA 10
Zoning
By-Law
48-2019
Pol Quality
Homes

Moved by Joseph Steffler and seconded by Larry McGrath:
That Council of the Municipality of Huron East support Plan of Subdivision File 40T19001 with the attached conditions, and forward to the County of Huron for Draft Plan approval. Carried.

Support Plan
of Subdivision
Pol Quality
Homes

ACCOUNTS PAYABLE

REPORTS & RECOMMENDATIONS OF MUNICIPAL OFFICERS

Chief Building Official – Report

The Chief Building Official report for May 2019 was received by Council.

CAO/Clerk – Dehumidifier Tender for Brussels Morris & Grey Community Centre

The CAO/Clerk reviewed his report to Council concerning the replacement of two existing dehumidifiers in the BMG arena. Tenders had been requested from two firms that perform mechanical work in Huron East arenas and it had been posted on the Huron East website. He advised that one tender had been received from CIMCO in the amount of \$33,697.50 per unit for a total tender of \$67,895 plus HST. The CAO noted that the budget for the replacement was \$50,000 but that the CIMCO representative had indicated that the particular units quoted had typically qualified for between \$2,500 and \$3,000 per unit under the IESO SaveOnEnergy program. He further noted that the BMG Committee did not meet again until the middle of July and there was approximately 10 weeks left to order and install the units.

Moved by John Lowe and seconded by Zoey Onn:
That Council of the Municipality of Huron East, on behalf of the BMG Recreation Committee, accept the tender of CIMCO Refrigeration in the amount of \$67,895 plus applicable tax for the supply and installation of two Smart Dry 2000 Dehumidifiers. Carried.

Accept Tender
BMGCC
Dehumidifiers

CAO/Clerk – Speed Reduction on Front Road

CAO/Clerk Brad Knight reviewed his report to Council concerning the resolution passed at the June 18th, 2019 meeting to install 30 km temporary signage for the construction zone at the bridge on Front Road heading west into the construction zone. He noted that Front Road in this area was not under construction and advised Council that speed limits are governed by Section 128 of the *Highway Traffic Act* and have default limits of 50 km in built up areas and 80 kilometers on a highway and that variations in speed limits must be set by by-law and reflect either significant changes in the road (curves) or the desire to set a transition between a rural area and an urban area. He noted that the provisions of By-Law 75-2006 extend the 50 km limit well outside the urban area of Egmondville and the Municipality has taken other measures to enhance traffic safety with the installation of school bus loading area warning signs and the painting of the centre line. He further noted that the Public Works Coordinator has also requested an increased police presence on the road and obtained the CHIP portable speed warning sign. He recommended that Council rescind the resolution passed at the June 18th, 2019 meeting to install a 30 km temporary speed sign for the construction zone at the bridge on Front Road heading into the construction zone, as the direction given contravenes the provisions of By-Law 75-2006.

Councillor McGrath reiterated the need to install a 30 km temporary speed sign for the construction zone in an effort to slow traffic in the area. Council noted that there was no construction on Front Road and measures had already been taken to enhance traffic safety in the area and questioned the enforceability of reducing the speed to 30 km. It was suggested that in an effort to slow traffic perhaps the installation of a construction ahead sign would have some effect.

Moved by Zoey Onn and seconded by John Lowe:
That Council rescind the resolution passed at the June 18th, 2019 meeting to install a 30 km temporary speed sign for the construction zone at the bridge on Front Road heading into the construction zone, as the direction given contravenes the provisions of By-Law 75-2006. Carried.

Rescind
Resolution
Signage on
Front Road

Moved by Zoey Onn and seconded by Gloria Wilbee:
That Council of the Municipality of Huron East direct the Public Works Coordinator to install a Construction Ahead sign on Front Road prior to Kippen Road. Carried.

Install
Construction
Ahead Sign
Front Road

Public Works Coordinator – Brussels Parking

Public Works Coordinator Barry Mills reviewed his report to Council concerning parking in downtown Brussels that had been deferred from the previous meeting to allow both Councillors from the Brussels Ward to be in attendance.

Councillor Lowe noted a common complaint with the bump-outs at the corner of King/Turnberry was that vehicles parked in the adjacent parking space obstructs sightlines pulling out from the corners and he suggested with only three accessible parking spaces on Turnberry Street that consideration could be given to making the four corners into accessible parking spaces. The Public Works Coordinator indicated that he would contact the consulting Engineer for the Turnberry Street project before changes were recommended, but he also suggested that accessible parking spots are often more functional and safer on the side street as there is less traffic and more room to work with.

Councillor McLellan questioned the cost to pave/mark the two municipal parking lots on Richmond Square and Elizabeth Street and Councillor McGrath suggesting improving the signage to see if the use warranted paving. Mayor MacLellan requested the Public Works Coordinator to investigate paving the parking lots and provide costing options at the next regular meeting.

Moved by John Lowe and seconded by Zoey Onn:
That Council note and file the request for changes to the parking regulations on Turnberry Street (Brussels) and the Public Works Coordinator be authorized to pave/mark the Richmond Square and Elizabeth Street parking lots. Parking
and Paving
Brussels

Moved by John Lowe and seconded by Raymond Chartrand:
That Council of the Municipality of Huron East table the motion with respect to parking and paving of parking lots in Brussels. Carried. Table Motion
Paving
Parking Lots
Brussels

Moved by Gloria Wilbee and seconded by Robert Fisher:
That Huron East Council receive the following Reports of Municipal Officers as presented:
(1) Chief Building Official
(2) CAO/Clerk
(3) Public Works Coordinator Reports of
Municipal
Officers

Carried.

CORRESPONDENCE

Moved by Zoey Onn and seconded by Brenda Dalton:
That Council of the Municipality of Huron East note and file the resolution of the City of St. Catharines to work towards providing free menstrual products (pads and tampons) in all public-facing municipally-run facilities. Carried. Note & File
Resolution
City of
St. Catharines

Moved by Brenda Dalton and seconded by Gloria Wilbee:
That Council of the Municipality of Huron East declares the 27th Annual Walton TransCan Grand National Championship being held from August 12th to 17th, 2019 at the Walton Raceway as an event of municipal significance, subject to confirmation of eligibility by the CAO. Carried. Declare Walton
TransCan
Significant
Event – SOP

Moved by Raymond Chartrand and seconded by Alvin McLellan:
That Council of the Municipality of Huron East endorse the resolution of the Township of Warwick requesting the Province to take a proactive approach to ensuring the safety of Ontario farm families, employees and animals from animal rights activists by ensuring stronger enforcement of existing laws or enacting new legislation. Carried. Endorse
Resolution
Township of
Warwick

UNFINISHED BUSINESS

MUNICIPAL DRAINS

PLANNING

COUNCIL REPORTS

Deputy Mayor Robert Fisher – Blood Donor Content Challenge

Deputy Mayor Robert Fisher advised he has issued a challenge to the Deputy Mayor of the Municipality of Central Huron to see which community can rally the highest number of blood donors at the blood donor clinics being held in both municipalities in the coming week.

Stanley Cup Parade

CAO/Clerk Brad Knight advised Council a Stanley Cup Parade will be held in Seaforth on Thursday, July 25th, 2019 with more information to follow once details have been arranged.

INFORMATION ITEMS

Moved by Larry McGrath and seconded by John Lowe: Board/Committee Meeting Minutes
That Huron East Council receive the following Board and Committee meeting minutes as submitted:

- (1) Huron East Joint Health & Safety Committee – June 12th, 2019
- (2) Seaforth & District Community Centres – June 20th, 2019
- (3) Vanastra Recreation Centre/Day Care Committee – June 17th, 2019
- (4) Huron East/Brussels Community Development Trust – March 14th, 2019
- (5) Winthrop Community Centre – March 20th, 2019

Carried.

OTHER BUSINESSBY-LAWS

Moved by Raymond Chartrand and seconded by Larry McGrath: Introduce By-Laws
BE IT HEREBY RESOLVED that leave be given to introduce By-Laws 47, 48 and 49 for 2019.

By-Law 47-2019 – Official Plan Amendment No. 10 – Parts 1 and 3, RP 22R-5599, Part Lot 25, Concession 1, McKillop Ward (Pol Quality Homes)

By-Law 48-2019 – Zoning Amendment – Parts 1 and 3, Plan RP 22R-5599, Part Lot 25, Concession 1, McKillop Ward (Pol Quality Homes (1st and 2nd readings))

By-Law 49-2019 – Confirm Council Proceedings

Carried.

Moved by John Lowe and seconded by Robert Fisher: OPA 10 Pol Quality Homes
BE IT HEREBY RESOLVED that By-Law 47 for 2019, a by-law to amend the Huron East Official Plan for Official Plan Amendment No. 10, be given first, second, third and final readings and signed by the Mayor and Clerk, and the Seal of the Corporation be affixed thereto. Carried.

Moved by Joseph Steffler and seconded by Gloria Wilbee: No Further Notice By-Law 48-2019
THAT WHEREAS the Council of the Municipality of Huron East has held a public meeting pursuant to Section 34 (12) of the Planning Act, 1990, with respect to a proposed zoning by-law 48-2019;
AND WHEREAS certain changes have been made to the proposed by-law after holding of the public meeting;
NOW, THEREFORE the Council of the Municipality of Huron East RESOLVES, that pursuant to Section 34 (17) of the Planning Act, 1990, the changes were of such a nature that no further notice is to be given in respect to the proposed by-law.
Carried.

Moved by Brenda Dalton and seconded by Joseph Steffler: Amend Zoning Pol Quality Homes 1st & 2nd Readings
BE IT HEREBY RESOLVED that By-Law 48 for 2019, a by-law to amend the zoning on Parts 1 and 3, RP 22R-5599, Part Lot 25, Concession 1, McKillop Ward, Pol Quality Homes, be given first and second readings. Carried.

CLOSED SESSION AND REPORTING OUTCONFIRMATORY BY-LAW

Moved by Alvin McLellan and seconded by Zoey Onn: Confirm Proceedings
BE IT HEREBY RESOLVED that By-Law 49 for 2019, a by-law to confirm the proceedings of Council, be given first, second, third and final readings and signed by the Deputy Mayor and Clerk, and the Seal of the Corporation be affixed thereto.
Carried.


ADJOURNMENT

Moved by Raymond Chartrand and seconded by Robert Fisher:
The time now being 9:18 p.m.
That the meeting do adjourn until July 16th, 2019 at 7:00 p.m.

Carried.

Adjournment

Bernie MacLellan, Mayor



Brad Knight, CAO/Clerk



MUNICIPALITY OF HURON EAST
PUBLIC MEETING
TUESDAY, JULY 16th, 2019 – 7:00 P.M.
HURON EAST COUNCIL CHAMBERS

The purpose of the public meeting is to consider amendments to the Huron East Zoning By-Law 52-2006.

AGENDA

- 1. Call to Order – Adopt Agenda for Public Meeting**
- 2. Disclosure of Elected Officials – Pecuniary Interest**
- 3. Zoning By-Law Amendment Applications**

Note: The following provisions are contained in Ontario Regulation 545/06, Section 5(11)5

- i. If a person or public body would otherwise have an ability to appeal the decision of the Council of the Municipality of Huron East to the Local Planning Appeal Tribunal but the person or public body does not make oral submissions at the public meeting or make written submissions to the Municipality of Huron East before the by-law is passed, the person or public body is not entitled to appeal the decision.
 - ii. If a person or public body does not make oral submissions at a public meeting, or make written submissions to the Municipality of Huron East before the by-law is passed, the person or public body may not be added as a party to the hearing of an appeal to the Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.
- 3 a) Zoning By-Law Amendment Application by John and Michelle Wilson affecting Part Lot 9, Concession 1, Huron Road Survey, subject to right of way and easement and Part 4 of RP 22R-2898, Seaforth and Tuckersmith Wards, known as 42909 Huron Road and 71 Gouinlock Street. The By-Law proposes to change the zoning in the following ways:**
- i) to recognize deficient agricultural area as a result of consent C61/18
 - ii) to correct mapping on 42909 Huron Road from Natural Environment (NE1), Floodway (FW), and Community Facility (CF) Zones to Residential (R2) and Floodway Special (FW-2) Zones and to permit a home industry (specifically, a landscaping business) in the Special Floodway Zone (FW-2)
 - iii) to permit the construction of a garage in the floodway and in the front yard of 71 Gouinlock Street at a distance of 15 metres from the roadway

(encl.)

Comments Received:

- Report from Planner Denise Van Amersfoort dated July 12th, 2019 (encl.)
- Ausable Bayfield Conservation Authority (encl.)

- 3 b) Zoning By-Law Amendment that affects all lands within the Municipality of Huron East. There are two purposes of the proposed housekeeping amendment:
- i) to introduce zoning provisions for cannabis production facilities; and
 - ii) to clarify the front yard setback for dwellings within urban settlement areas as 6 metres from municipal or County roads.
- (encl.)

Comments Received:

- Report from Planner Denise Van Amersfoort dated July 11th, 2019 (encl.)

4. Close Public Meeting

**PUBLIC MEETING
CONCERNING A PROPOSED ZONING BY-LAW AMENDMENT
AFFECTING THE MUNICIPALITY OF HURON EAST**

Roll No. 4040 390 016 00100
4040 160 001 01900
4040 390 016 00800

TAKE NOTICE that Council of the Corporation of the Municipality of Huron East will hold a public meeting on Tuesday, July 16, 2019 at 7:00 pm in the Huron East Council Chambers to consider a proposed zoning by-law amendment under Section 34 of the Planning Act.

BE ADVISED that the Clerk/Council of the Corporation of the Municipality of Huron East considered this application to be complete on June 12, 2019.

ANY PERSON may attend the public meeting and/or make written or verbal representation either in support of, or in opposition to, the proposed zoning by-law amendment.

IF a person or public body does not make oral submissions at a public meeting or make written submissions to the Municipality of Huron East before the by-law is passed, the person or public body is not entitled to appeal the decision of the Municipality of Huron East to the Local Planning Appeal Tribunal.

IF a person or public body does not make an oral submission at a public meeting or make written submissions to the Municipality of Huron East before the by-law is passed, the person or public body may not be added as a party to the hearing of an appeal before the Local Planning Appeal Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to add the person or public body.

ADDITIONAL INFORMATION relating to the proposed zoning by-law amendment is available for inspection during regular office hours at the Huron East Municipal Office and the County of Huron Planning and Development Department (519) 524-8394 x 3.

DATED AT THE MUNICIPALITY OF HURON EAST this 24th day of June 2019.

Brad Knight, CAO/Clerk, Municipality of Huron East
72 Main Street South, PO Box 610 Seaforth, Ontario N0K 1W0
Phone: 519-527-0160 1-888-868-7513 (toll free) Fax: 519-527-2561

PURPOSE AND EFFECT

This proposed Zoning By-law Amendment affects Concession 1, Part Lot 9, Huron Road Survey subject to right of way and easement and Part 4 of Reference Plan 22R2898, Seaforth and Tuckersmith Wards, Municipality of Huron East, known municipally as 42909 Huron Road and 71 Gouinlock Street.

The By-law proposes to change the zoning in several ways:

Firstly, to recognize deficient agricultural area as a result of consent C61-2018. The Huron East Zoning By-law requires that agricultural parcels are a minimum of 18 hectares (45 acres). Due to the division of this parcel between the Seaforth and Tuckersmith Wards, the agricultural parcel created is 7 hectares (17.3 acres).

Secondly, to correct the mapping on 42909 Huron Road from Natural Environment (NE1), Floodway (FW), and Community Facility (CF) Zones to Residential (R2) and Floodway Special (FW-2) Zones and to permit a home industry (specifically, a landscaping business) in the Special Floodway Zone (FW-2).

Finally, to permit the construction of a garage in the floodway and in the front yard of 71 Gouinlock Street, at a distance of 15 metres from the roadway. This involves the creation of a special Floodway Zone (FW-3). The portion of the existing street which is directly north of 71 Gouinlock is currently owned by the abutting farm property with which 71 Gouinlock is required to merge as a condition of consent C61/2018. A portion of the street will be conveyed to the Municipality, also as a condition of consent C61/2018.

Attached is a sketch which outlines the proposed garage location on 71 Gouinlock Street. This by-law amends the Zoning By-law of the Municipality of Huron East 52-2006.

CORPORATION OF THE MUNICIPALITY OF HURON EAST

SEAFORTH AND TUCKERSMITH WARDS

BY-LAW NO. - 2019

BEING a by-law to amend the zoning on Concession 1, Part Lot 9, Huron Road Survey subject to right of way and easement and Part 4 of Reference Plan 22R2898, Seaforth and Tuckersmith Wards, Municipality of Huron East, known municipally as 42909 Huron Road and 71 Gouinlock Street.

WHEREAS the Corporation of the Municipality of Huron East considers it advisable to amend Zoning By-law 52-2006, as amended.

NOW THEREFORE, the Council of the Corporation of the Municipality of Huron East enacts as follows:

1. This by-law shall apply to Concession 1, Part Lot 9, Huron Road Survey subject to right of way and easement and Part 4 of Reference Plan 22R2898, Seaforth and Tuckersmith Wards, Municipality of Huron East, known municipally as 42909 Huron Road and 71 Gouinlock Street as described and shown on the attached Schedules 1, 2, 3 & 4.
2. By-law 52-2006 is hereby amended by changing General Agriculture (AG1) to General Agriculture Special Zone (AG1-45); changing from Natural Environment (NE1), Floodway (FW), and Community Facility (CF) to Residential Medium Density (R2) Zone, Floodway Special (FW-2) and Floodway Special (FW-3), and changing a portion of the Floodway-Special (FW-1) to Roadway on the attached Schedules 3 and 4.
3. Section 4.11 is hereby amended by the addition of the following:

AG1-45
Notwithstanding provisions to the contrary, in the area zoned AG1-45, the minimum lot size is 7 ha. All other provisions of the By-law shall apply.
4. Section 23.4 is hereby amended by the addition of the following:

FW-2
The area zoned as FW-2, the existing buildings are permitted and the right to reconstruct these structures to a similar proportion if destroyed is recognized. Any alteration of an existing building must be in accordance with Conservation Authority Regulations, through approval of the Ausable-Bayfield Conservation Authority.

In the area zoned FW-2, a landscaping business is permitted as a home industry subject to definition of 'home industry' and the following additional provisions: all storage of machinery will be within or to the rear of existing buildings, storage of landscape related materials (e.g. top soil, mulch, etc.) may be permitted outdoor provided it is screened visually and within a floodproof container.
5. Section 23 is hereby amended by the addition of the following:

FW-3:
In the area zoned FW-3, existing residential uses are permitted. A detached garage is permitted in the front yard of the existing dwelling provided the building is located a minimum of 15 metres from the Gouinlock Street road allowance, has no habitable space and is in accordance with the Ausable Bayfield Conservation Authority permit. The right to reconstruct these structures to a similar proportion if destroyed is recognized. Any alteration of an existing building must be in accordance with Conservation Authority Regulations, through approval of the Ausable-Bayfield Conservation Authority.

- 6. Key Maps 42 and 66, Schedule A, By-law 52-2006 is hereby replaced with amended Key Maps 42 and 66 (as shown with increased detail) attached hereto, which is declared to be part of the by-law.
- 7. All other provisions of By-law 52-2006 shall apply.
- 8. This by-law shall come into force upon final passing, pursuant to Section 34(21) of the Planning Act, RSO 1990, as amended.

READ A FIRST TIME ON THE	DAY OF	, 2019.
READ A SECOND TIME ON THE	DAY OF	, 2019.
READ A THIRD TIME AND PASSED THIS	DAY OF	, 2019.

Bernie MacLellan, Mayor

Brad Knight, Clerk/CAO

SCHEDULE 1

CORPORATION OF THE MUNICIPALITY OF HURON EAST

SEAFORTH AND TUCKERSMITH WARDS

BY-LAW NO. - 2019

1. By-law - 2019 has the following purpose and effect:

This proposed Zoning By-law Amendment affects Concession 1, Part Lot 9, Huron Road Survey subject to right of way and easement and Part 4 of Reference Plan 22R2898, Seaforth and Tuckersmith Wards, Municipality of Huron East, known municipally as 42909 Huron Road and 71 Gouinlock Street.

The By-law proposes to change the zoning in several ways:

Firstly, to recognize deficient agricultural area as a result of consent C61-2018. The Huron East Zoning By-law requires that agricultural parcels are a minimum of 18 hectares (45 acres). Due to the division of this parcel between the Seaforth and Tuckersmith Wards, the agricultural parcel created is 7 hectares (17.3 acres).

Secondly, to correct the mapping on 42909 Huron Road from Natural Environment (NE1), Floodway (FW), and Community Facility (CF) Zones to Residential (R2) and Floodway Special (FW-2) Zones and to permit a home industry (specifically, a landscaping business) in the Special Floodway Zone (FW-2).

Finally, to permit the construction of a garage in the floodway and in the front yard of 71 Gouinlock Street, at a distance of 15 metres from the roadway. This involves the creation of a special Floodway Zone (FW-3). The portion of the existing street which is directly north of 71 Gouinlock is currently owned by the abutting farm property with which 71 Gouinlock is required to merge as a condition of consent C61/2018. A portion of the street will be conveyed to the Municipality, also as a condition of consent C61/2018.

Attached is a sketch which outlines the proposed garage location on 71 Gouinlock Street.

This by-law amends the Zoning By-law of the Municipality of Huron East 52-2006.

All other zone provisions apply.

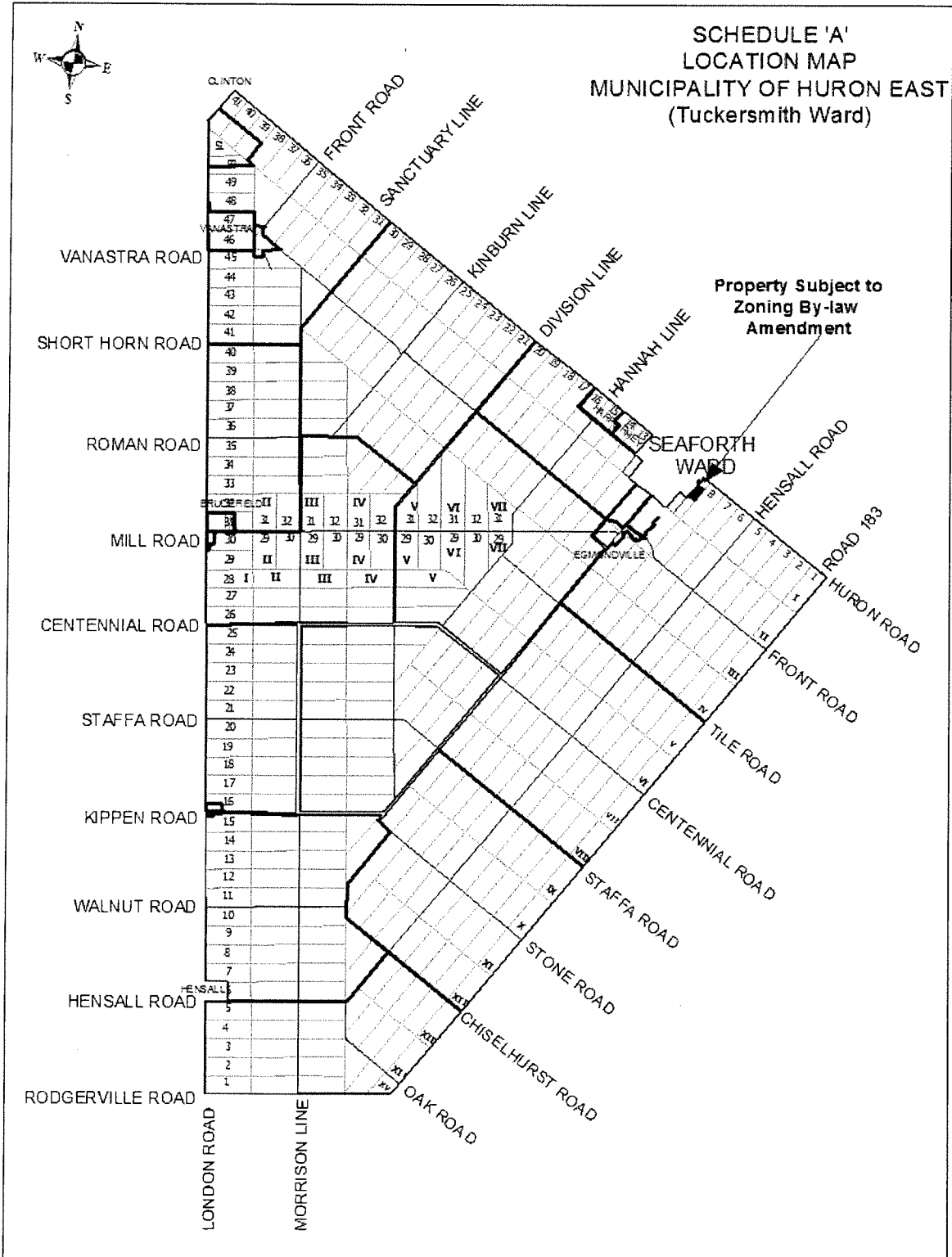
2. A Location Map and Key Map showing the location of the lands to which this by-law applies are shown on the following pages and are entitled Schedules 2, 3 & 4.

SCHEDULE 2

CORPORATION OF THE MUNICIPALITY OF HURON EAST

SEAFORTH AND TUCKERSMITH WARDS

BY-LAW NO. - 2019



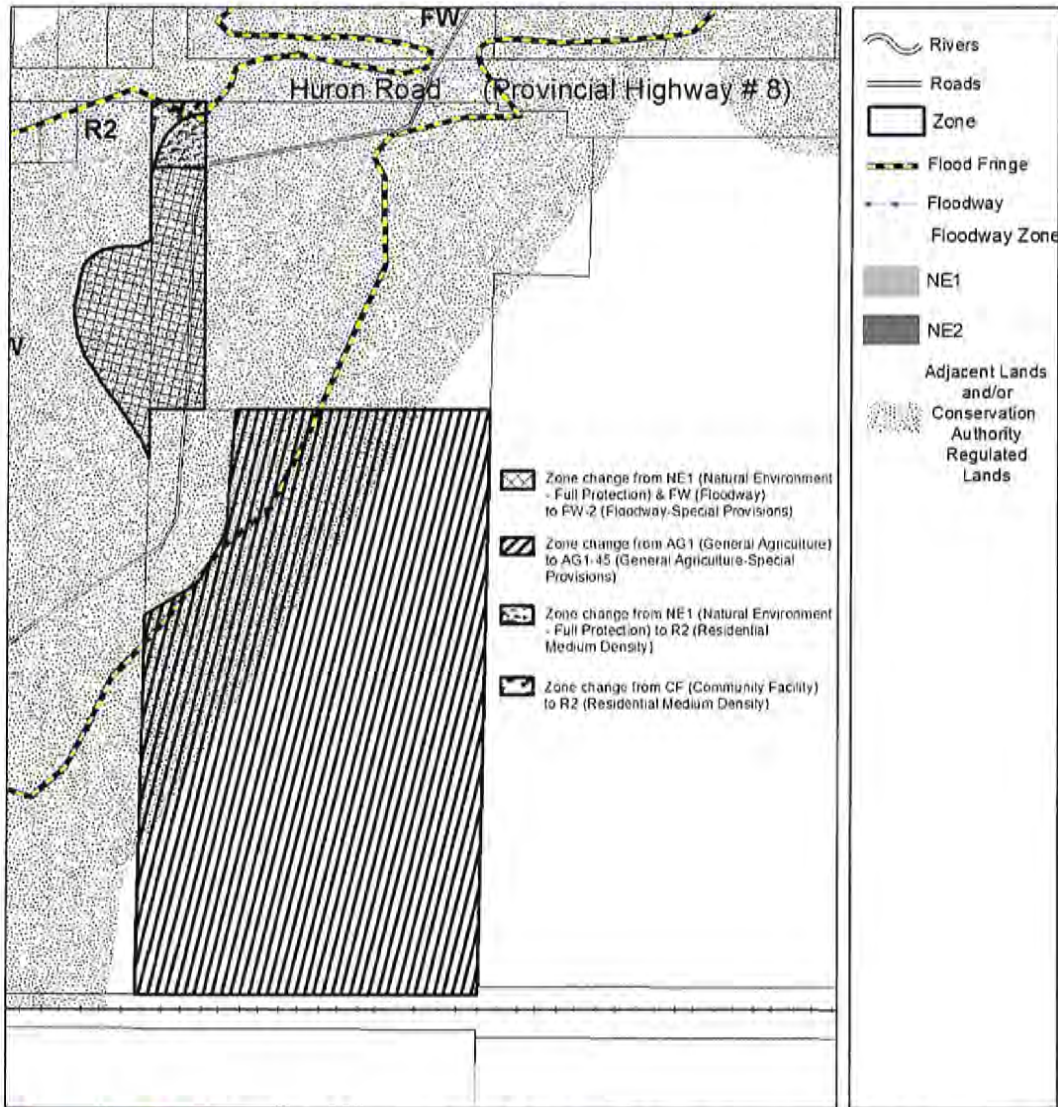
SCHEDULE 3

CORPORATION OF THE MUNICIPALITY OF HURON EAST

SEAFORTH AND TUCKERSMITH WARDS

BY-LAW NO. – 2019

Detail for Key Maps 42 and 66 Huron East



Produced by the County of Huron GIS Services with data supplied under License by Members of the Ontario Geospatial Data Exchange: NWCA, ABCA, SVCA, LTRCA and MHRSP. Orthomosaic: June 11 2015.
This map is illustrative only. Do not rely on it as a precise indicator of routes, feature locations, nor as a guide to navigation.
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6/18/2019

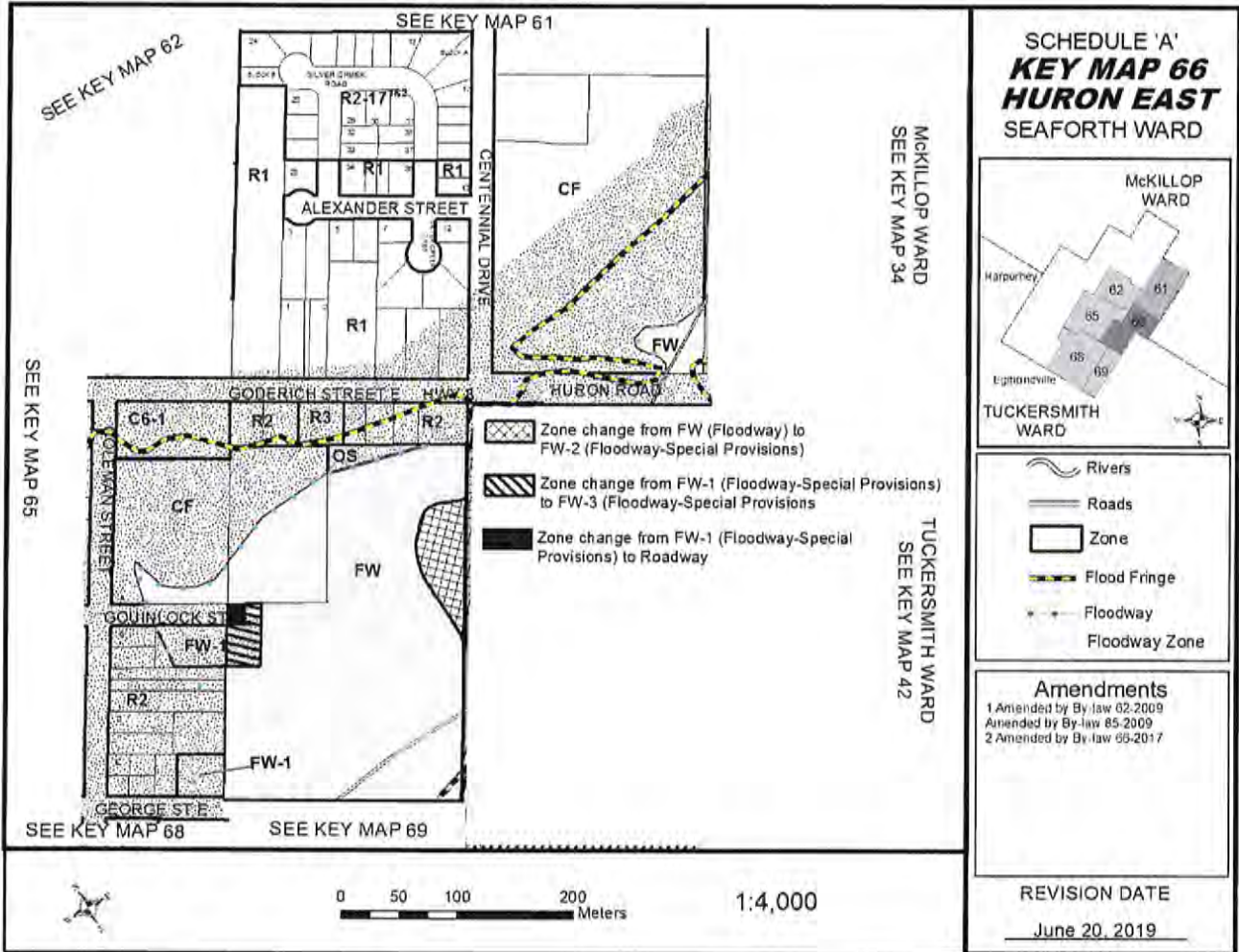
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Date: 6/18/2019

SCHEDULE 4

CORPORATION OF THE MUNICIPALITY OF HURON EAST

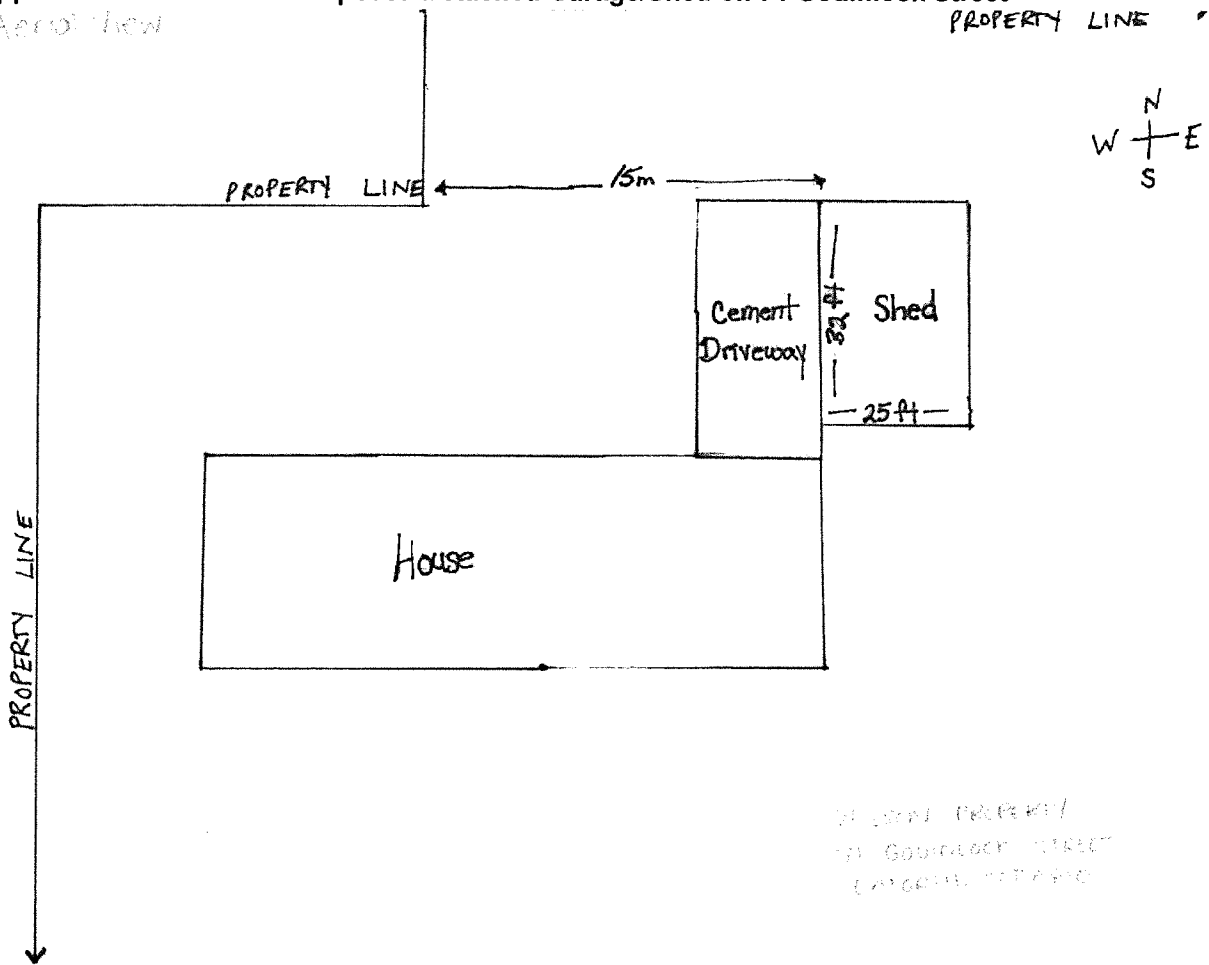
SEAFORTH AND TUCKERSMITH WARDS

BY-LAW NO. - 2019



Appendix A: Location of Proposed Detached Garage/Shed on 71 Gouinlock Street

Attachment





PLANNING & DEVELOPMENT

57 Napier Street, Goderich, Ontario N7A 1W2 CANADA

Phone: 519.524.8394 Ext. 3 Fax: 519.524.5677

Toll Free: 1.888.524.8394 Ext. 3

www.huroncounty.ca

5-15-1

3 a)

To: Municipality of Huron East, Mayor and Members of Council
From: Denise Van Amersfoort, Senior Planner
Date: July 12, 2019

Re: Application for Zoning By-law Amendment: Z01/19

Concession 1, Part Lot 9, Huron Road Survey subject to right of way and easement and Part 4 of Reference Plan 22R2898, Seaforth and Tuckersmith Wards, Municipality of Huron East, known municipally as 42909 Huron Road and 71 Gouinlock Street

Applicant/Owners: John, Michelle and Geraldine Wilson

RECOMMENDATION

It is recommended that the components of Z01/19 be separated into two by-laws and further that:

- 1) the by-law addressing the home industry and deficient agricultural area be **approved as amended**; and
- 2) the by-law addressing the establishment of an accessory building in the floodway be **denied**.

PURPOSE

The By-law proposes to change the zoning in several ways:

Firstly, to recognize deficient agricultural area as a result of consent C61-2018. The Huron East Zoning By-law requires that agricultural parcels are a minimum of 18 hectares (45 acres). Due to the division of this parcel between the Seaforth and Tuckersmith Wards, the agricultural parcel created is 7 hectares (17.3 acres).

Secondly, to correct the mapping on 42909 Huron Road from Natural Environment (NE1), Floodway (FW), and Community Facility (CF) Zones to Residential (R2), Floodway and Floodway Special (FW-2) Zones and to permit a home industry (specifically, a landscaping business) in the Special Floodway Zone (FW-2).

Finally, to permit the construction of a garage in the floodway and in the front yard of 71 Gouinlock Street, at a distance of 15 metres from the roadway. This involves the creation of a special Floodway Zone (FW-3). The portion of the existing street which is directly north of 71 Gouinlock is currently owned by the abutting farm property with which 71 Gouinlock is required to merge as a condition of consent C61/2018. A portion of the street will be conveyed to the Municipality.

REVIEW

The subject lands are designated Agriculture, Inner Floodplain, Urban Natural Environment and Open Space in the Huron East Official Plan. The lands are zoned Residential Medium Density (R2), Floodway (FW), Natural Environment Full Protection (NE1), General Agriculture (AG1), Floodway Special Zone (FW-1), Urban Natural Environment and Open Space (OS), and Community Facility (CF). Zone changes are depicted in Figure 1.

With the exception of lands designated Agriculture, the subject properties are located within the Inner Flood Plain of the Silver Creek (see Figure 3).

Figure 1: Location of Proposed Zone Change (excerpt from Zone Maps 42 & 66)

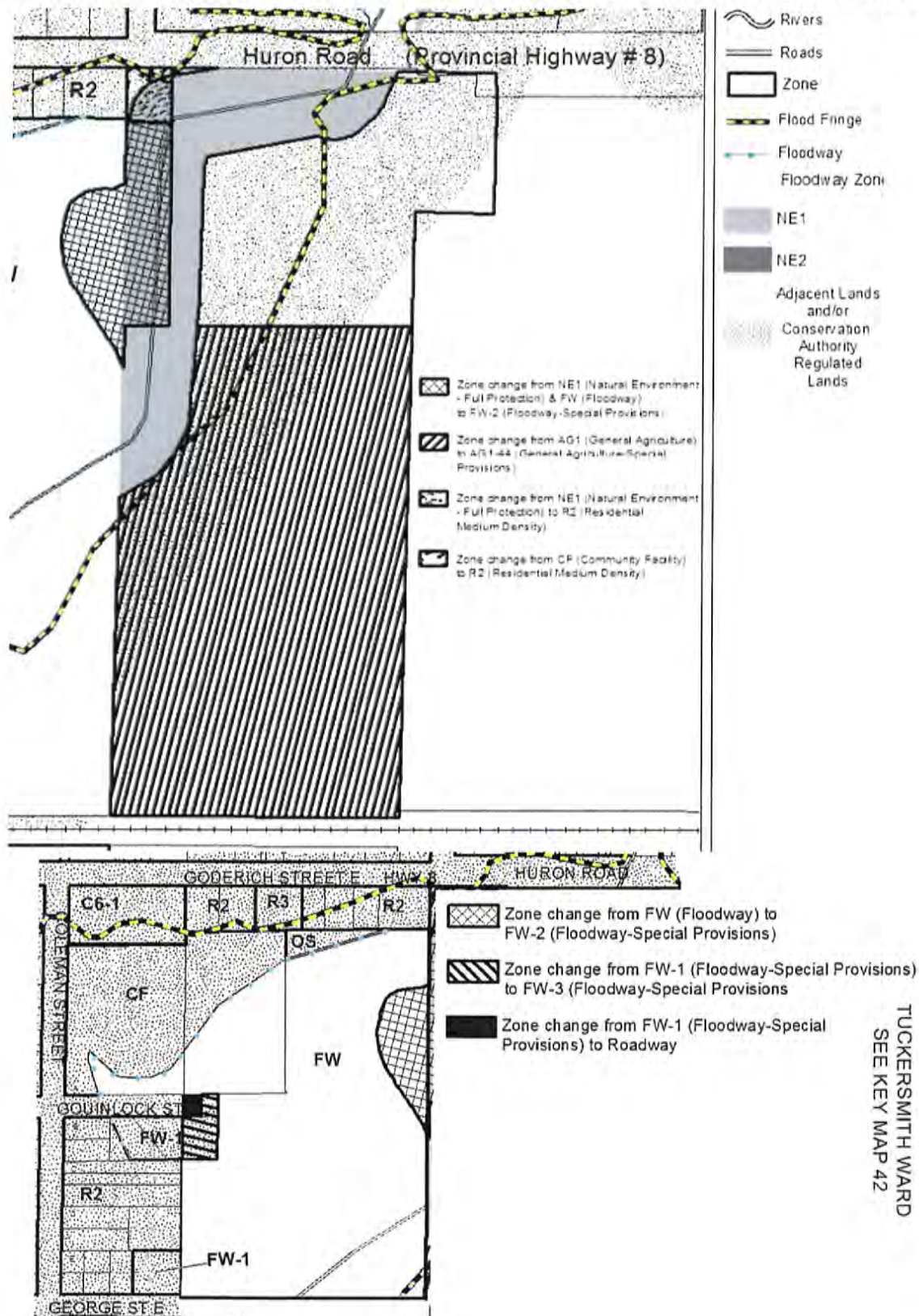


Figure 2: Aerial Image of Subject Properties

(red dot indicates location of proposed garage, yellow dot is location of proposed home industry)



Figure 3: Aerial Image of Subject Properties with Floodway Layer

(Orange is Floodway, Blue is Regional Floodplain, red dot indicates location of proposed garage, yellow dot is location of proposed home industry)



Consent C61/2018 and Required Re-zoning for Lands Designated Agriculture

The subject properties were the subject of a consent in 2018. The application was approved by County Council and allowed the severance of the farm, approximately in half, with the condition that the westerly half of the farm, which is located entirely in the Inner Flood Plain, merge on title with 71 Gouinlock Street (currently owned by Geraldine Wilson).

One of the conditions of consent C61/2018 was to recognize, through rezoning, that the resulting agricultural parcel was undersized. The portion of the Wilson farm which is designated Agriculture is approximately 17 acres in size. The Official Plan directs a minimum lot size of 38 hectares (94 acres) shall apply to all new agricultural lots being created; however, because the balance of the Wilson farm is previously designated Urban, due to the dividing line between the Township of Tuckersmith and the former Town of Seaforth, the situation was pre-existing. Because the existing Agriculture designation is undersized and is not being reduced further, this application is considered to conform to the Huron East and Huron County Official Plans.

Corrections to Mapping

Many of the small changes being made to the mapping are corrections to existing mapping. For example, the Community Facility (CF) Zone which was intended to stop at the boundary of the Seaforth Lion's Park was extended west over the Wilson residence. These small corrections are due, in large part, to the fine scale of the mapping. With aerial photography and GIS, the mapping is able to be more accurate. ABCA noted another required mapping amendment in proximity to the Wilson farm residence; this floodway correction will be incorporated into the revised mapping in preparation for the July 16th Council meeting.

Proposed Amendments in Silver Creek Special Policy Area

The Huron East Official Plan provides clear direction for the protection of natural hazards, property and public safety as per Section 3.1 of the Provincial Policy Statement and the County of Huron Official Plan.

Section 6.3.16 of the County of Huron Official Plan states "Development shall be directed away from areas which pose a threat to public health and safety or property. Development shall not create new or aggravate existing hazards (including flooding hazards). Policies in local Official Plans will ensure that people and property are protected from natural and human made hazards".

The Huron East Official Plan defines the Silver Creek Flood Plain as the area flooded as a result of the regional storm, as defined by the Conservation Authority. In Seaforth, a Special Policy Area has been established to facilitate proper land use planning and flood plain management.

The Inner Flood Plain, the location of both the proposed home industry and detached garage, is defined as comprising the main channel and the low lying areas where, due to topography, deep flooding with high velocity flow is expected. In the Inner Flood Plain, low lying area may be subject to serious flooding. The Official Plan specifically states "This designation will allow parks, horticulture, low-density recreation, agriculture and those structures required for flood plain management purposes. Development and site alteration will not be permitted in the Inner Flood Plain area".

Proposed Home Industry

The proposed home industry (landscaping business) is to be located within the Inner Flood Plain of the Silver Creek. The property has been in the Wilson's ownership for several generations and has operated as an agricultural operation with significant livestock in years past. In addition to the residence and detached garage, two, large barns exist on the property today.

A home industry (landscaping business) established on the subject property in 2016. The operator described the landscaping business as follows:

- The business involves the storage of equipment and materials within a portion of the property zoned Floodway (FW) but the operation is conducted off-site.
- No members of the public enter the property for purposes related to the business.
- One employee is employed by the business other than the operator.
- The operator lives in the residence on the subject parcel.
- The majority of materials (armour stone, plant materials, top soil, etc.) are delivered directly to the site where the work is being completed. Mulch is the exception in that it is stored in bulk on a cement pad between the two, existing buildings;
- There is a desire to accommodate additional bulk storage on-site within bunker blocks and possibly, in the future, a greenhouse.

Development and site alteration are not permitted within the Inner Flood Plain thus the applicant was advised during pre-consultation that the greenhouse and 'bunker block' storage proposals were problematic. The home industry, at its limited scale, can be considered as no buildings are being proposed, no site alteration is required, and the intensity of the use is limited.

Furthermore, while the intensive livestock use has ceased, the legal non-conforming use of agriculture, specifically the storage of equipment and materials for agricultural purposes, has continued status in a defined area of the Floodway (FW) Zone on the Wilson farm property. Legal non-conforming uses can be changed to a similar or more compatible use pursuant to Section 34(10) of the Planning Act provided:

- It is not reasonable or feasible to cease or relocate the use;
- Any incompatibilities with surrounding uses are not aggravated;
- Surrounding uses are protected by appropriate buffers and setbacks;
- Adequate services, parking and access are provided;
- Natural hazards are addressed; and
- Development details may be regulated by site plan control and a development agreement.

At the limited scale the landscaping business is currently operating on the subject parcel, it is not reasonable or feasible to relocate. However, should the owner wish to expand the business, an alternate site is necessary. No building activities will be permitted in the Inner Flood Plain. The landscaping business operates largely off-site thus the impacts on neighbours are limited. The property is maintained in a tidy and organized fashion which was noted on multiple site inspections removing the need for visual screening or buffering. Home industries are typically not permitted within the limits of urban settlement areas but given the agricultural nature of the property, the use is not out of character.

In order to address the natural hazard concerns, the following amendments are recommended to permit the home industry on the subject property:

- The area in which the landscaping business is permitted to operate (FW-2 zone) be limited to the area including the existing barns and graveled yard.
- All storage (equipment, materials, etc.) be required to locate within existing buildings;

- Notwithstanding the above, bulk mulch is permitted to be stored on the existing concrete pad located between the two, existing barns subject to an ABCA permit;
- Storage of fuels, chemicals and fertilizers is such that their release would be prevented during flood events;
- No further intensification of the home industry use is permitted in the FW-2 Zone;
- Site Plan Control apply to the home industry.

With the amendments noted, the home industry can be supported.

Proposed Detached Garage

The applicants propose to construct a 32 x 25 foot, detached garage in the front yard of 71 Gouinlock Street; this property is entirely within the Inner Flood Plain of the Silver Creek.

A brief history of 71 Gouinlock Street is as follows:

Date	Event
July 2, 1980	Building Permit Application for Second Farm Residence
1984	Ausable Bayfield Conservation Authority implements first regulations along riverine hazards (Fill, Construction and Alterations to Waterways Regulations – Ontario Regulation 544/44)
December, 1984	Residence re-zoned Inner Flood Plain (IFP-1) during update to Town of Seaforth Zoning By-law
May 24, 1990	Residence severed from farm property

Figure 4: Aerial Photograph of Existing Neighbourhood with Garage Location Noted (in yellow) and extent of roadway to be dedicated to Municipality (in red)



Development and site alteration is not permitted in the Inner Flood Plain. The Ausable Bayfield Conservation Authority provided comments to the effect that ABCA staff are not supportive but despite the recommendation of staff, the ABCA Board approved of the building in the proposed location. The letter details that “staff recommended denial as the proposal did not meet policies of either the ABCA or of the municipality. In addition, the ABCA was not in receipt of any technical (floodplain) evidence supporting the proposal”.

The intent of the Silver Creek Special Policy Area within the Huron East Official Plan is to provide clear direction that development (the definition of which includes the construction of buildings) and site alteration is not permitted within the Inner Flood Plain for the purpose of protecting the natural hazard and its’ function, property and public safety. The proposed building would be located within the Inner Flood Plain and will, based on the ABCA floodway engineering, be subject to flood depths of 1.4 metres (4 feet, 7 inches) at the grade of the existing driveway during flood events. The applicants have confirmed that the residence at 71 Gouinlock has water in the basement during flood events. Further development in this location is in direct conflict with the direction in the Official Plan and cannot be supported.

It is recommended that Huron East Council deny this aspect of the application.

COMMENTS RECEIVED

No comments were received from members of the public.

The Ausable Bayfield Conservation Authority has submitted a letter which is included in the agenda package. In terms of the garage proposal in the floodway at 71 Gouinlock Street, ABCA staff are not supportive but note that the ABCA Board did approve the building in the proposed location. In terms of the home industry, the ABCA is not supportive of this use being established permanently due to the hazardous nature of the site. The letter states that the Authority could support the business as a temporary use, with prescribed restrictions, to allow the owner an opportunity to secure a more suitable location to operate and expand their business.

SUMMARY

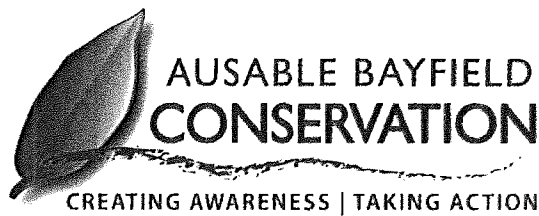
In conclusion, it is recommended that:

- Council pass a resolution pursuant to Section 34(17) of the Planning Act that minor changes were made since the time of the public meeting and that no further notice is required;
- the deficient size of the agricultural parcel resulting from consent C61/2018 be approved;
- the mapping be corrected as noted within Figure 1 and the Conservation Authority’s letter;
- the home industry be approved with the recommended amendments identified by staff; and
- the detached garage on 71 Gouinlock Street be denied.

Sincerely,
‘Original signed by’

Denise Van Amersfoort, Senior Planner

Site Inspections: October 2, 2018 and July 9, 2019



July 11, 2019

File: L.2.10.1

Municipality of Huron East
72 Main Street South
P.O. Box 610
Seaforth, Ontario
N0K 1W0

Adelaide Metcalfe

Bluewater

Atten.: Mr Brad Knight, CAO / Clerk

Central Huron

Dear Mr. Knight:

Huron East

**Re: Zoning By-Law Amendments
71 Gouinlock Street
ABCA File Ref #: 20984
42909 Huron Road
ABCA File Ref #: 20985
Town of Seaforth
Municipality of Huron East
County of Huron**

Lambton Shores

Lucan Biddulph

Middlesex Centre

North Middlesex

Perth South

The Ausable Bayfield Conservation Authority (ABCA) has reviewed the application with regard to Natural Heritage and Natural Hazard policies as outlined in the Provincial Policy Statement (PPS), and also with regard to the regulations made pursuant to Section 28 of the *Conservation Authorities Act*. The following reflects our position as an agency delegated the Provincial responsibility for comments on Natural Hazard matters as well as an agency providing advisory comments on Natural Heritage to the Municipality.

South Huron

Warwick

The property(ies), which are the subject of the requested amendments, have been identified as quite hazardous. They have been identified through detailed engineering review as almost entirely within the floodplain of Silver Creek - with much of the area having been designated as 'floodway' - the most dangerous and floodprone portion of the floodplain.

West Perth

This reach of Silver Creek is subject to substantial and frequent flooding. Multiple engineering studies have been done on this reach of the watercourse, with the most recent as a result of changes to the railway culvert. Very generally, the building area around 42909 Huron Road floods to a depth of 1.3 metres (4.4 feet) while flood depths as measured on the driveway of 71 Gouinlock reach 1.4 metres (4.7 feet). Authority records indicate the creek suffered mild flooding in February 2018. Multiple events have been experienced since 2000.

Due to the hazardous nature of this area, the municipality and the ABCA have previously approved by-laws and policies which, when implemented, direct development and site alteration away from these hazardous areas. These policies, by-laws and designations have been in place for a number of years.



In this reach of Silver Creek the ABCA implements two zone flood plain management policies which permits some activities within the floodfringe areas but restricts activities within the more hazardous floodway. This has been approved provincially as a *Special Policy Area*.

The municipality's Zoning by-law and Official Plan also restrict uses in this hazardous area.

There are multiple amendments being sought and for the purposes of this correspondence will be dealt with individually.

1. Minimum Agricultural Parcel Size

As a condition of a recent severance (C61-2018) the applicant is required to seek an amendment to recognize undersized agricultural parcels.

The ABCA has no concern with this requested amendment.

2. Correct mapping for 42909 Huron Road

It is understood that the zoning by-law mapping for 42909 Huron Road is incorrect and requires revision. Of concern to the ABCA is the change of the mapping from an NE1 (Natural Environment - Full Protection) to R2 (Residential Medium Density).

The proposed mapping does not seem to accurately reflect the limits of the floodplain as identified by the ABCA. Please see the attached map of the area of concern.

The ABCA does not support re-zoning floodplain areas away from a zone which reflects the hazardous nature of the site. The floodplain area as shown on the attached map should be zoned as such.

The mapping in the proposed amendment should be revised accordingly.

3. Re-zone to permit a Home Industry

The ABCA understands the applicant is seeking to re-zone portions of the property to recognize a landscaping business which has been established on the property. The ABCA has limited information regarding the history, size, operational requirements etc. of this business and, as result, is challenged with providing detailed comments. The location of the business is entirely within the floodway portion of the Silver Creek floodplain.

The current zoning (Floodway - FW) for the property only permits the following:

- a conservation project
- recreation, passive
- park, public
- limited agricultural use involving no buildings or structures
- uses accessory to the permitted uses

The ABCA is very concerned with this re-zoning. As outlined above, longstanding ABCA and municipal by-laws and policies direct such uses away from the floodplain - especially the floodway.

All of the area which the applicant wishes to use for the business is identified as floodway. The intent with provincial, ABCA and municipal floodplain policies is to direct such uses away from this area. In addition to the impacts resulting from a flood (such as loss of flood storage, impacts to flood plain

characteristics, release of bulk materials, chemicals, fuels fertilizers etc. from the site, damage to equipment, vehicles etc.), the ABCA questions the viability and sustainability of locating such an operation within an area which is subject to significant and frequent flooding. The engineered studies indicate flood depths exceed four feet in that area in which the applicant is conducting the business. Silver Creek flooded as recently as 2018 and the ABCA has records of it flooding multiple times since 2000.

A review of the site plan supplied with the application for the re-zoning suggested the applicant ultimately seeks the following:

- exterior and interior vehicle, equipment, and trailer storage and parking: (presumably for any employees as well)
- two bulk storage locations (fill)
- a green house (new construction)

Please be aware that permits will be required from the ABCA for the proposed activities. Please also be aware that policies of the ABCA would not support some of the proposed activities and staff would be unable to issue such permits.

It is the opinion of the ABCA that, considering the hazardous nature of the area, that it is appropriately zoned and designated. As a result, the ABCA cannot support the requested amendment.

While the ABCA cannot support a permanent re-zoning of the property to permit the business, the ABCA could support a temporary use by-law which permits the landscape business to continue for a period of time. This would allow the business to continue yet permit the applicant time to find a more suitable location from which to run the business.

Any such temporary use by-law should include means to reduce impacts resulting from flooding. Such means would include (but not be limited to):

- storage of bulk materials only within existing buildings
- suitable storage of fuels, chemicals and fertilizer which would prevent their release during flood events
- appropriate storage of equipment and vehicles - including any employees' personal vehicles
- the temporary use by-law should only apply to a small portion of the property - and not extend beyond the business's footprint in the buildings
- the remainder of the floodway should remain zoned as Floodway (FW) only permitting those uses identified in the existing Zoning By-law and Official Plan

In addition, the applicant must obtain any required permits from the ABCA.

Again, the ABCA can only support a temporary use by-law and a not permanent re-zoning.

4. Re-zone to permit a detached garage near 71 Gouinlock Street

The applicant seeks a site specific zone to permit the construction of a 25 foot x 32 foot garage. The subject area is currently zoned as FW-1.

The subject property is identified as floodway and ABCA policy does not support additional development in this area. Notwithstanding, at a Hearing convened under the Conservation Authorities

Act, the ABCA's Board of Directors approved the application to construct the garage in the location proposed.

It should be noted that staff recommended denial of the application as the proposal did not meet policies of either the ABCA or of the municipality. In addition, the ABCA was not in receipt of any technical (floodplain) evidence supporting the proposal.

Should the municipality choose to approve the requested rezoning the ABCA requests that the wording for the special FW-3 zone be amended to reflect the following changes. These changes will reflect the evidence given by the applicant during the Hearing and the subsequent approval by the Board of Directors.

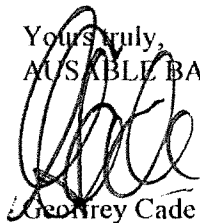
FW-3:

In the area zoned FW-3, existing residential uses are permitted. A detached garage is permitted in the front yard of the existing dwelling provided the building is located a minimum of 15 metres from the Gouinlock Street road allowance, has no habitable space, **is for storage only, will not be used for business purposes** and is in accordance with the Ausable Bayfield Conservation Authority permit. The right to reconstruct these structures to a similar proportion if destroyed **by means other than flooding** is recognized. Any alteration of an existing building must be in accordance with Conservation Authority Regulations, through approval of the Ausable-Bayfield Conservation Authority.

In conclusion, the ABCA cannot support a portion of the requested amendments as they are presented. Longstanding provincial, ABCA and municipal policies have been directing activities away from these hazardous areas for a number of years. It is recommend that any approvals reflect the comments outlined above.

Thank you for the opportunity to comment on this application. If you have any further questions or require any additional information, please do not hesitate to contact me. The Ausable Bayfield Conservation Authority would appreciate receiving a copy of the municipality's decision.

Yours truly,
AUSABLE BAYFIELD CONSERVATION AUTHORITY



Geoffrey Cade
Supervisor of Water & Planning

encl.

Portion of Seaforth - Special Policy Area



0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150 160 170 180 190 200 Meters

**PUBLIC MEETING
CONCERNING A PROPOSED ZONING BY-LAW AMENDMENT
AFFECTING THE MUNICIPALITY OF HURON EAST**

TAKE NOTICE that Council of the Corporation of the Municipality of Huron East will hold a public meeting on **July 16, 2019 at 7:00 pm** in the Huron East Council Chambers to consider a proposed zoning by-law amendment under Section 34 of the Planning Act.

BE ADVISED that the Clerk/Council of the Corporation of the Municipality of Huron East considered this application to be complete on June 18, 2019.

ANY PERSON may attend the public meeting and/or make written or verbal representation either in support of, or in opposition to, the proposed zoning by-law amendment.

IF a person or public body does not make oral submissions at a public meeting or make written submissions to the Municipality of Huron East before the by-law is passed, the person or public body is not entitled to appeal the decision of the Municipality of Huron East to the Local Planning Appeal Tribunal.

IF a person or public body does not make an oral submission at a public meeting or make written submissions to the Municipality of Huron East before the by-law is passed, the person or public body may not be added as a party to the hearing of an appeal before the Local Planning Appeal Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to add the person or public body.

ADDITIONAL INFORMATION relating to the proposed zoning by-law amendment is available for inspection during regular office hours at the Huron East Municipal Office and the County of Huron Planning and Development Department (519) 524-8394 x 3.

DATED AT THE MUNICIPALITY OF HURON EAST this 21st day of June, 2019.

Brad Knight, CAO/Clerk, Municipality of Huron East
72 Main Street South, PO Box 610 Seaforth, Ontario N0K 1W0
Phone: 519-527-0160 1-888-868-7513 (toll free) Fax: 519-527-2561

PURPOSE AND EFFECT

There are two purposes of the proposed housekeeping amendment:

1. to introduce zoning provisions for cannabis production facilities; and
2. to clarify the front yard setback for dwellings within urban settlement areas is 6 metres from municipal or County roads.

This by-law affects all lands within the Municipality of Huron East and amends the Comprehensive Zoning By-law (By-law 52-2006) of the Municipality of Huron East.



PLANNING & DEVELOPMENT

57 Napier Street, Goderich, Ontario N7A 1W2 CANADA

Phone: 519.524.8394 Ext. 3 Fax: 519.524.5677 Toll Free: 1.888.524.8394 Ext. 3

www.huroncounty.ca

5-15-1-36

To: Mayor and Members of Huron East Council
From: Denise Van Amersfoort, Senior Planner
Date: July 11, 2019
Re: Housekeeping Zoning By-Law Amendment for Cannabis Production Facilities

RECOMMENDATION

It is recommended that Council **approve** the proposed housekeeping amendment with recommended changes and pass a resolution in accordance with Section 34(17) of the Planning Act that no further notice is required.

PURPOSE and DESCRIPTION

The purpose of the housekeeping amendment is to update the language of the zoning by-law text related to cannabis production and processing.

The proposed housekeeping amendment includes the following changes:

1. Updates to Section 2 of the Zoning By-Law to include definitions for "Air Treatment Control", "Cannabis" and "Cannabis Production Facility".
2. New provisions in Section 3 to address compatibility between cannabis production facilities and sensitive uses such as residences, community facilities and parks. These provisions require different setbacks depending on whether or not the facility has air treatment control measures in place. A facility with air treatment control would be required to locate a minimum of 150 metres away while a facility with no air treatment control would be required to locate a minimum of 300 metres away.
3. Cannabis Production Facility to be added as a permitted use in the General Agriculture (AG1), Restricted Agriculture (AG2) and Agricultural – Commercial Industrial (AG3) Zones.

This housekeeping amendment also clarifies that for properties within urban settlement area boundaries, the front yard setback when measured from a County Road is six (6) metres. This has been the practice of the Building Department but the wording requires amendment.

REVIEW

On June 18, 2019, Huron East Council passed a motion to direct an amendment to the Comprehensive Zoning By-Law (52-2006) for the purpose of incorporating the provisions for cannabis that had been developed by Norfolk County for their Zoning By-Law and were recently adopted by Central Huron.

The proposed amendment to the Huron East Zoning By-Law is adapted from the Norfolk County Zoning By-Law to provide setbacks for any new cannabis production facility from various sensitive uses, such as Residential uses, Community Facility uses and Open Space and Parkland uses. Some minor changes are proposed which differ from the Norfolk approach: 1) to clarify that setbacks for cannabis production facilities from dwellings do not include dwellings on

the same property as the facility; and 2) the definition of cannabis is limited to marijuana and hemp and does not include other plants in the Cannabaceae family such as hops.

The need for this amendment was realized following odour complaints from a facility that has established in Vanastra. The proposed amendments will not apply to any cannabis production facility that has been legally established prior to the passing of this proposed zoning by-law amendment.

COMMENTS

Section 34(1) 1. of the Planning Act allows local municipalities to restrict the use of land and set out the areas of land where a use may be permitted.

Although cannabis production is not specifically mentioned in the Huron East Official Plan, the Plan generally addresses compatibility between land uses and provides specific policies in some instances. For example, Section 2.a. of the Huron East Official Plan identifies a purpose of the plan to “create a land use pattern that ensures the compatibility of different types of land uses”. Section 6.5.3.3.3 requires industrial areas that abut other uses to address performance standards including odour. Section 4.4.10 of the Plan speaks to permitting agricultural industrial-commercial uses in such a way that minimizes incompatibilities and opportunities for conflict with surrounding lands uses. Finally, Section 9.3.2. outlines economic development goals and speaks to striking a balance between encouraging and supporting flexibility and innovation, while maintaining a compatibility of land uses.

With respect to the policies of the Huron East Official Plan as a whole, the proposed zoning by-law amendment to provide setbacks for cannabis production facilities is in conformity with the plan and strikes the desired balance between promotion of development opportunities and land use compatibility.

At the end of this report, maps have been included which depict how the new provisions will impact the establishment of a cannabis production facility in the settlement area of Vanastra moving forward. The areas in green represent the areas that would be eligible for cannabis production facilities with air treatment controls (150 metre minimum) and with no air treatment control (300 metre minimum). Council will note that without air treatment control, there are extremely limited options to incorporate this type of use within the urban area. This was similar for Seaforth and Brussels.

CONCLUSION

At the time of writing this report no comments from members of the public have been received regarding the proposed amendments.

Section 34(1) 1. of the Planning Act allows local municipalities to restrict the use of land and set out the areas of land where a use may be permitted.

The proposed changes to the Municipality of Huron East Zoning By-Law are in conformity with the Huron East Official Plan and consistent with the Provincial Policy Statement.

Sincerely,
'Original signed by'

Denise Van Amersfoort, Senior Planner

Figure 1: Possible Location of Cannabis Production Facilities with Air Treatment Control (150 metre setback) in Vanastra

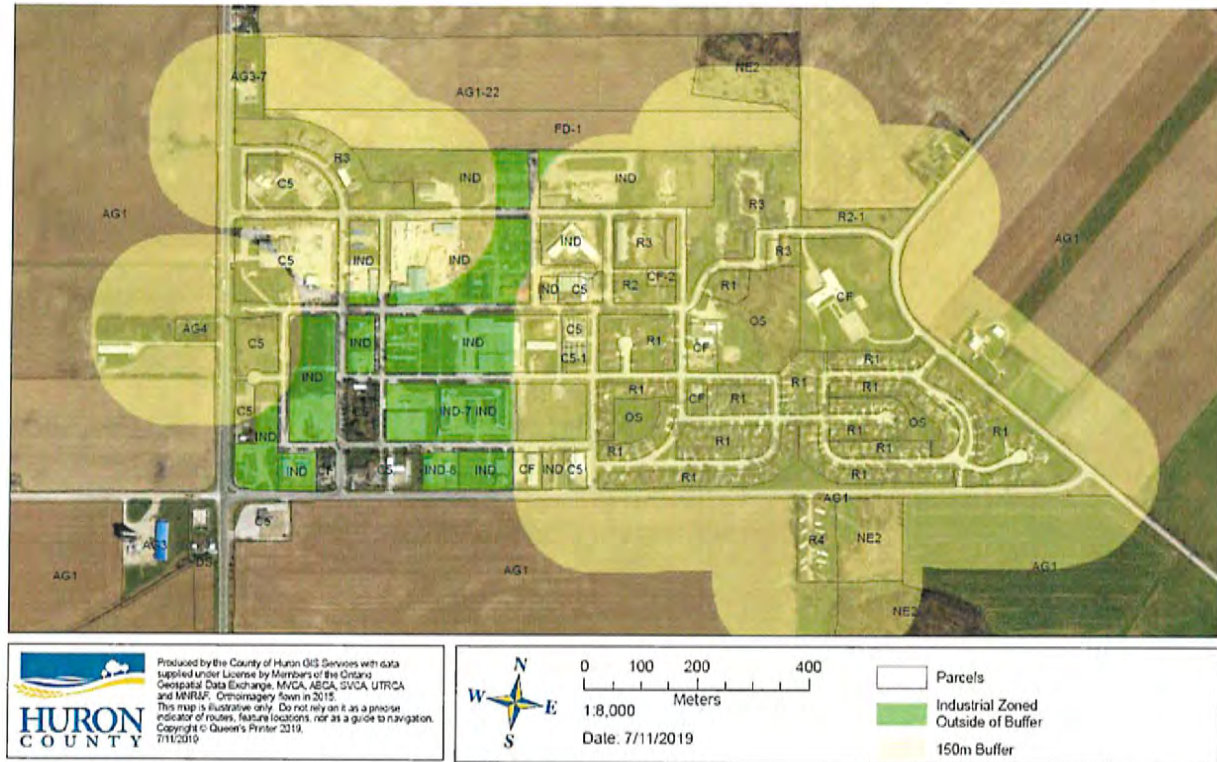
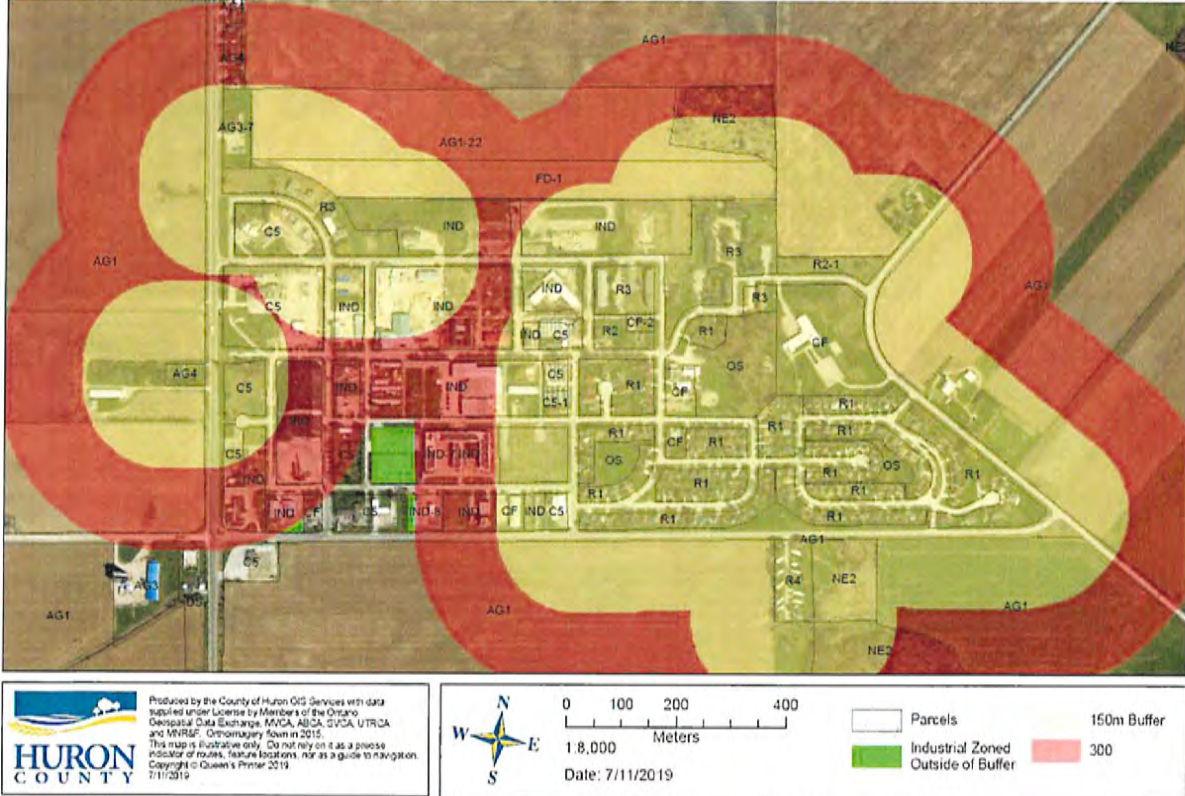


Figure 2: Possible Location of Cannabis Production Facilities with no Air Treatment Control (300 metre setback) in Vanastra





MUNICIPALITY OF HURON EAST
PUBLIC HEARING
TUESDAY, JULY 16th, 2019 – 7:30 P.M.
HURON EAST COUNCIL CHAMBERS

The purpose of the public hearing of the Committee of Adjustment is to consider a proposed minor variance to the Huron East Zoning By-Law 52-2006.

AGENDA

- 1. Call to Order – Adopt Agenda for Public Hearing**
- 2. Disclosure of Elected Officials – Pecuniary Interest**
- 3. Minor Variance Application**
 - 3 a) Committee of Adjustment application A07-2019 by Tripod Properties (c/o Joe Dekroon) which affects Ord Street, Lots 221 and 222, Plan 386, Seaford Ward.**

Decision was deferred at the June 18th, 2019 public hearing.

The proposed minor variance will provide relief from By-Law 52-2006 (Huron East Zoning By-Law) to permit the construction of two, multiple attached dwellings containing four (4) dwellings each fronting onto Huron Street.

1. Section 19.7
 - minimum lot depth for Units 1-8 from 38 metres to 35 metres
 - minimum exterior side yard (Unit 1) from 6 metres to 4.5 metres
 - minimum interior side yard (Units 4 and 5) from 3 metres to 2.5 metres

Comments Received:

- MHBC Planning Urban Design & Landscape Architecture (encl.)
- Report from Planner Denise Van Amersfoort dated July 11th, 2019 (encl.)
- Claude Stewart (encl.)

- 4. Close Public Hearing**



SCHEDULE B
TO THE HURON EAST PROCEDURAL BY-LAW 43-2015

MUNICIPALITY OF HURON EAST
COUNCIL DELEGATION REQUEST

A "delegation" means a person or group of people who address Council or a Committee for the purpose of making a presentation. See Section 17 of the Municipality of Huron East Procedure By-law for details.

Please ensure this form is completed, with an attachment outlining your request for a Council delegation. This Request Form must be received by the Clerk no later than 4:30 on the Wednesday preceding the Council meeting. The Request must be delivered by email, fax or in person.

A schedule of the Council meetings is located on the Municipal website at www.huroneast.com
 Phone: 519-527-0160 Toll Free: 1-888-868-7513
 Fax: 519-527-2561 Email: bknight@huroneast.com
 Address: 72 Main Street, P.O. Box 610, Seaforth, ON N0K 1W0

DATE OF MEETING: July 16, 2019

NAME OF PERSON(S) MAKING PRESENTATION (and title/position, if applicable) _____
 Scott Allen, Partner MHBC

GROUP/ORGANIZATION DELEGATION REPRESENTS: Tripod Properties

FULL MAILING ADDRESS OF DELEGATION(S): 630 Colborne Street, Suite 202
London ON N6B 2V2

TELEPHONE #: 519-858-2797 EMAIL: sallen@mhbcpplan.com

GENERAL NATURE OF DELEGATION: Presentation regarding Huron and Ord Street Minor Variance and Consent Applications (A07-2019)

ADDITIONAL DOCUMENTATION & PRESENTATION MATERIALS (PLEASE ATTACH/DESCRIBE): N/A

PLEASE INDICATE THE ACTION/DECISION BEING REQUESTED OF COUNCIL:
Decision to approve the applications is being requested

Delegations are limited to fifteen (15) minutes to address Council (including questions from Council). Groups are encouraged to appoint one or two spokespersons to address Council on behalf of the group. Where a Delegation consists of more than five persons, it shall be limited to two speakers, each limited to speaking not more than ten (10) minutes. If the delegation would like printed information provided to Council in advance of the meeting it must be delivered to the Clerk by Noon on the Thursday prior to the meeting. This information will be placed on the Huron East Council Agenda and is posted on the corporate website and available to the public. Large submissions will be reviewed by the Clerk and included (or not) at his/her discretion. Delegation may be requested to provide multiple copies of a large document. For further information on the procedure for appearing before Council as a delegation, please contact Clerk, at 519-527-0160 or bknight@huroneast.com. Information submitted will be considered to be public information and therefore subject to full disclosure, under the *Municipal Freedom of Information and Protection of Privacy Act*.

[Signature] _____ Date July 10/19

[Signature] _____ Date Received July 10, 2019

OFFICE USE:
 Confirmed with Requestor on July 10/19 (date) by [Signature] (phone/email)



PLANNING & DEVELOPMENT

57 Napier Street, Goderich, Ontario N7A 1W2 CANADA

Phone: 519.524.8394 Ext. 3 Fax: 519.524.5677

Toll Free: 1.888.524.8394 Ext. 3

www.huroncounty.ca

To: Municipality of Huron East, Mayor and Members of Council
From: Denise Van Amersfoort, Senior Planner
Date: July 11, 2019

Re: **Application for Minor Variance: MV07/2019**
Plan 389, Lots 221 and 222, Seaforth Ward
Applicant: MHBC Planning c/o Eric Miles for Tripod Properties

RECOMMENDATION

It is recommended that minor variance application MV07/19 be **approved** with the following conditions:

1. That the buildings be constructed in accordance with the submitted site plan (Site Plan, prepared by MHBC Planning, dated July 9, 2019) and architectural drawings (Tripod Elevations, prepared by Blakestyle Design and Drafting Inc., dated July 5, 2019);
2. That site plan approval apply to both lots for the purposes of addressing landscaping, fencing/planting strips, servicing and landscaping; and
3. The variance approval is valid for a period of 18 months from the date of the Committee's decision.

PURPOSE

Originally, the purpose of this application was to permit the construction of two, multiple attached dwellings containing four (4) dwellings each (for a total of 8 units). The application has since been reduced to seven (7) units which are proposed in a four unit multiple attached dwelling and a three unit multiple attached dwelling. The dwellings are proposed to front onto Huron Street. There is an associated deeming by-law and consent (severance application) related to this development.

The reduction in the number of units allows the applicants to comply with the Huron East Zoning By-law minimum requirements for exterior side yard depth and interior side yard depth.

Originally, the three minor variances being requested for this development were:

- To reduce the minimum lot depth from 38 metres to 35 metres.
- To reduce the minimum exterior side yard from 6 metres to 4.5 metres.
- To reduce the interior side yards from 3 metres to 2.5 metres.

With the revised application, the only variance being requested is:

- To reduce the minimum lot depth from 38 metres to 35 metres.

REVIEW

The subject property is vacant and is surrounded by low and medium density residential uses to the west, north and east. To the south, the property abuts an industrial area which includes the railway. It is zoned R2 (Residential Medium Density) in the Huron East Zoning By-law and is designated Residential in the Huron East Official Plan. The original lots were recently deemed and now form a single lot approximately 2660 m² (0.66 acres) in size; this lot is proposed to be severed into two, relatively equal sized lots.

Figure 1: Location of Proposed Minor Variance (excerpt from Zone Map 64)

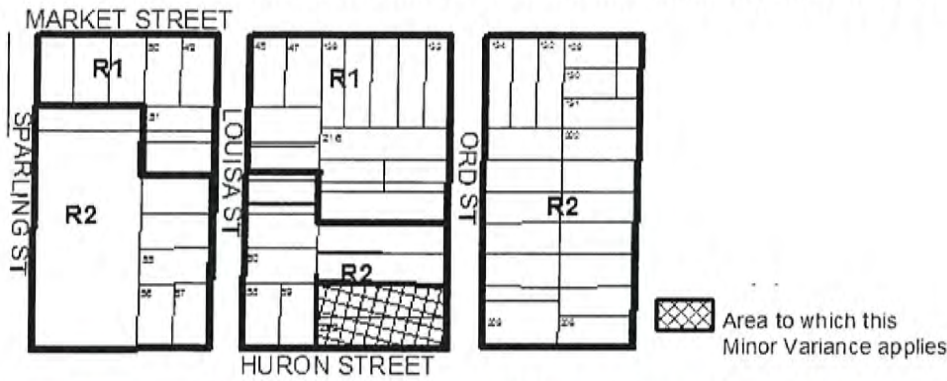


Figure 2: 2015 Aerial Photograph of Subject Properties



Figure 3: Proposed Development, Multiple Attached Dwelling containing four (4) units on Lot 'B', Multiple Attached Dwelling containing three (3) units on Lot 'A'

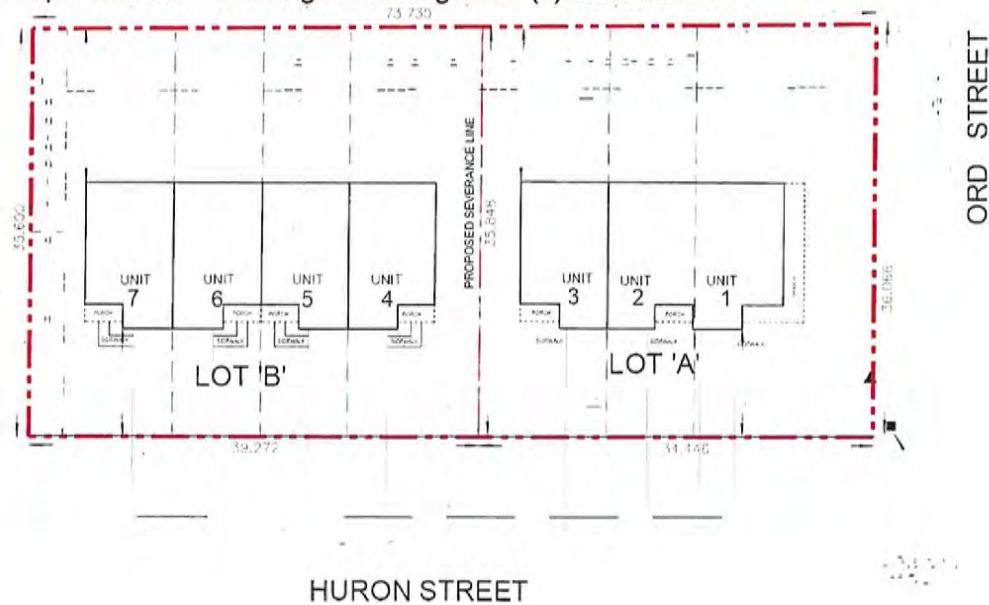
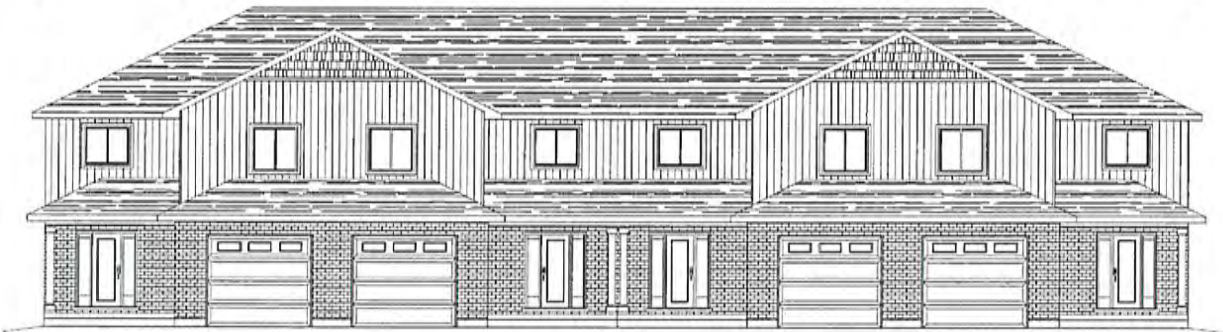


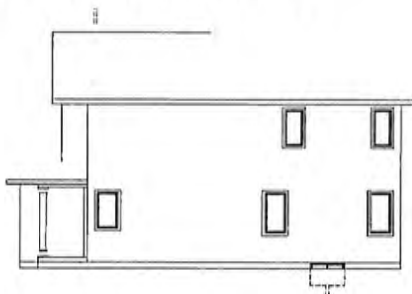
Figure 4: Photograph of Subject Property



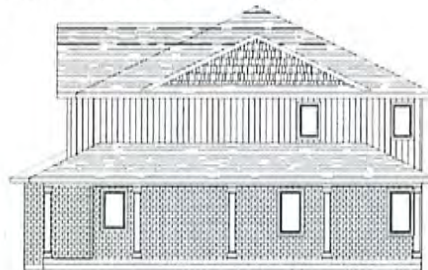
Figure 5: Proposed Building Elevations (Four Unit and Three Unit Multiple Attached Dwellings)



Original Ord Street elevation



Revised Ord Street elevation



COMMENTS RECEIVED

Comments were received from members of the public as follows on the revised materials:

Karen Cronin (75 Ord Street):

Original comments: Would be supportive of development if single storey. No comments on revised plans received.

Claude Stewart (71 Ord Street)

Additional comments provided after reviewing revised drawings (included in agenda package). Continues to have concerns about the two storey height overwhelming the neighbourhood and questions market viability.

Craig Metzger (67 Ord Street)

No objection. All concerns addressed through recommended conditions.

PLANNING REVIEW

Minor variances are required to satisfy four tests under the Planning Act before they can be approved. To be approved the requested variance must be:

- 1) minor,
- 2) desirable for the appropriate development or use of the land, building or structure,
- 3) maintain the general intent and purpose of the zoning by-law, and
- 4) maintain the general intent of the official plan.

The application was deferred at the June 18, 2019 Council meeting to allow the developers the opportunity to respond to the concerns of Council and neighbours with respect to the design of the buildings. The goal of the Official Plan is to integrate new structures into older areas without a loss of harmony and to encourage consideration of and sensitivity to the character, context and design of the surrounding area.

The applicants have revised their application in the following ways:

- Reduced the number of units from eight (8) to seven (7);
- Revised the site plan to comply with all side yard requirements (previously, variances to interior and exterior side yard depths were requested);
- Shifted the building back further than the Zoning By-law requires on the exterior side yard to better reflect the existing setback of dwellings to the north;
- Incorporated a full length, covered porch on the Ord Street façade to create a 'stepped down' approach, softening the impact of the second storey height;
- Introduced gables in the Ord Street façade roofline to create interest and further articulate the design of this street facing facade; and
- Indicated that the design of the building will be a combination of stone/brick, siding and other materials to help create visual interest and reduce the impact of the massing of the building.

Section 19.7 of the Zoning By-law sets out the requirements for multiple-attached dwellings in Medium Density Residential (R2) zones. The subject property (Lots 221 and 222 deemed to form one property) has insufficient depth to meet the requirements for multiple attached units when measured from Huron Street. The reduction in overall lot depth from 38 metres to 35 metres is

considered to be minor, appropriate and to maintain the intent of the Zoning By-law and Official Plan. The proposed lot design allows for sufficient rear yards (13.5 metres in depth where 10 metres is required) which provides occupants of the dwellings an opportunity for some private amenity space. The development of the sites will be regulated through the site plan control process and will allow for further discussion about an appropriate fence/planting strip to be installed on along the north property boundary. A visual buffer is appropriate to screen and help mitigate any potential impacts from the seven (7) rear yards in this area.

The changes to the architectural drawings satisfy concerns raised by planning staff. By reducing the number of units, meeting the yard depth requirements of the Huron East Zoning By-law, adjusting the location of the proposed building, further articulating the facades of the buildings and incorporating additional detail on the Ord Street elevation, the proposed development now conforms with the goals and vision of the Huron East Official Plan.

SUMMARY

To summarize, the proposed minor variance would facilitate the re-orientation of two lots and the building of two, multiple attached dwellings with a total of seven (7) units. As outlined in the related severance report, there are many merits to this application including the provision of a different form of housing, creating affordability in the housing market, and being located in walking proximity to the downtown. The revised architectural plans include a more sensitive approach to integrating with the existing neighbourhood and are deemed to conform to the vision of the Huron East Official Plan.

Sincerely,
'Original signed by'
Denise Van Amersfoort, RPP, MCIP
Senior Planner

Site inspection: May 28 and June 11, 2019

making the most out of nothing
the
wrong side of Tracks

Proper landscaping would
help to improve
make area more inviting

Crowding the situation
would really make area
look like hell

mostly seniors in area
2 bedroom or 1 bedroom + Den
low profile 8' walls
Denise 519-524-8394 Ext. 3
what would the cost of these plans

these people are persisted on
two storey 3 bedrooms
in a non family area
what are they thinking

would be very difficult to
rent

desperation would get to
would accept people that
are not good at paying rent
on time July 11 Claudi Stevan



PLANNING & DEVELOPMENT

57 Napier Street, Goderich, Ontario N7A 1W2 CANADA
 Phone: 519.524.8394 Ext. 3 Fax: 519.524.5677 Toll Free: 1.888.524.8394
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 www.huroncounty.ca

5-15-3

Consent Application Report – File C24/19 To Huron East Council

Applicant: MHBC Planning c/o Eric Miles on behalf of Tripod Properties	Date: July 11, 2019
Property Address: * Ord Street, Seaforth	
Property Description: Plan 389, Lots 221 & 222, Seaforth Ward, Huron East	

Recommendation: That provisional consent be:

- granted with conditions (attached)
- deferred
- denied

Purpose:

- enlarge abutting lot
- create new lot
- surplus farm dwelling
- right-of-way / easement

	Area	Official Plan Designation:	Zoning:	Structures:
Severed	1405 square metres (0.35 acres)	Residential	Medium Density Residential (R2)	Vacant
Retained	1240 square metres (0.31 acres)	Residential	Medium Density Residential (R2)	Vacant

Review: This application:

- Is consistent with the Provincial Policy Statement (s. 3(5) Planning Act);
- Does not require a plan of subdivision for the proper and orderly development of the municipality (s.53(1) Planning Act);
- Conforms with section 51(24) of the Planning Act;
- Conforms with the Huron County Official Plan;
- Conforms with the Huron East Official Plan;
- Complies with the Huron East Zoning By-law (or will comply subject to a standard condition of rezoning or minor variance);
- Has been recommended for approval by the local municipality; and
- Has no unresolved objections/concerns raised (to date) from agencies or the public.
 (Applications that do not meet all of the foregoing criteria will be referred to the County Committee of the Whole Day 1 for a decision)

Agency / Other Comments:

	Not Received	No Concerns	See Conditions / Comment
Members of the Public			Karen Cronin (75 Ord Street): Original comments: Would be supportive of development if single storey. No comments on revised plans received. Claude Stewart (71 Ord Street) Additional comments provided after reviewing revised drawings (included in agenda package). Continues to have concerns about

			<p>the two storey height overwhelming the neighbourhood and questions market viability.</p> <p>Craig Metzger (67 Ord Street)</p> <p>No objection. All concerns addressed through recommended conditions.</p>
Huron County Health Unit	✓		<p>No formal comments have been received. The site servicing design has been reviewed at a high level for conformity with the Plumbing Code and found to be acceptable.</p>
Huron East staff			<p>Public Works staff have reviewed the site servicing plan prepared by John Kerr of GM BluePlan (acting for developer). These comments are addressed through a recommended condition.</p>

Figure 1: Aerial Photo of Subject Property (severed outlined in red, retained in yellow)



Figure 2 REVISED: Proposed Development, Multiple Attached Dwelling containing four (4) units on Lot 'B', Multiple Attached Dwelling containing three (3) units on Lot 'A'

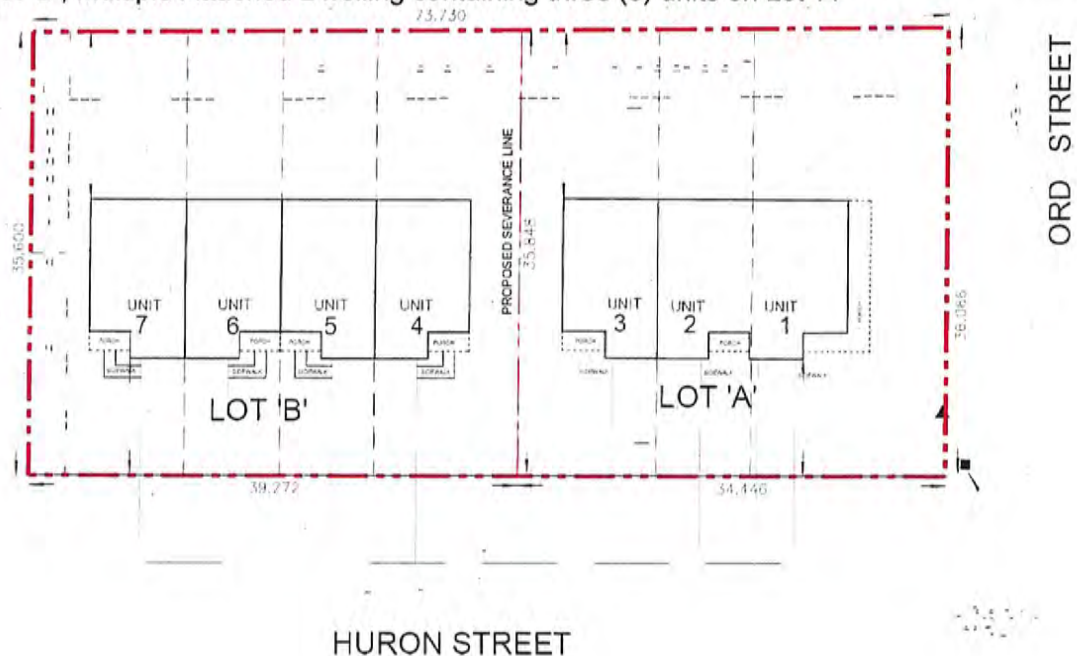


Figure 3: Original Lot Fabric (Lots Deemed)

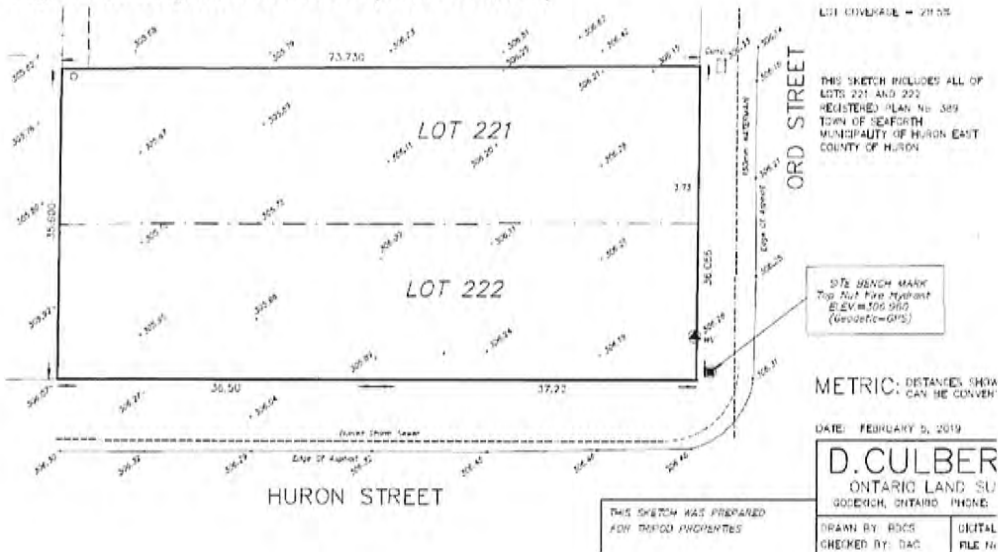


Figure 4: Photograph of Subject Property



Figure 5: Proposed Building Elevations (Three Unit Building)

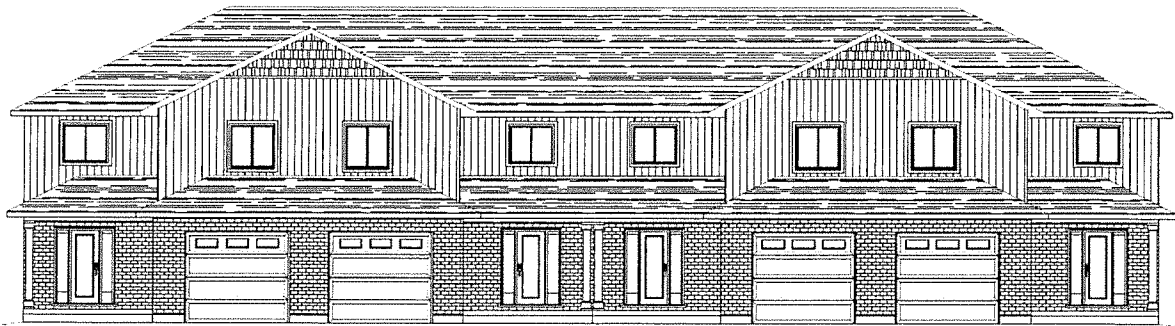




East Elevation (facing Ord Street):



Figure 6: Proposed Building Elevations (Four Unit Building)



Additional Comments:

The purpose of the application is to create an infill residential lot on Huron Street in Seaforth. Lots 221 and 222 of Plan 389 were recently deemed to facilitate this severance application. After consideration of staff and neighbour comments, the original proposal was revised. The developer is now proposing to construct two multiple attached dwellings on the proposed parcels with a total of 7 units, as opposed to 8 units: a multiple attached dwelling with four units on the severed and a multiple attached dwelling with three units on the retained. A related minor variance application has been submitted (MV07/2019) which is addressed in a separate report.

Official Plan Conformity

The Huron East Official Plan defines 'residential intensification' as "changes to a property which results in a net increase in residential units and includes... the development of vacant or underutilized lots within previously developed areas and infill development". The subject application is an example of residential intensification.

Section 6.5.3. of the Official Plan establishes clear direction for residential development including the goals of:

- Maintaining stable, safe, attractive, and healthy residential neighbourhoods while protecting from conflicting land uses;
- Providing a wide variety of housing types and prices to satisfy the varying housing needs of existing and anticipated residents;
- Creating complete neighbourhoods with mixed housing for all ages to promote health, well-being and aging in place;
- Make the most efficient use of land; and
- Assists with the provision of affordable housing.

The application was deferred at the June 18, 2019 Council meeting to allow the developers the opportunity to respond to the concerns of Council and neighbours with respect to the design of the buildings. The goal of the Official Plan is to integrate new structures into older areas without a loss of harmony and to encourage consideration of and sensitivity to the character, context and design of the surrounding area.

The applicants have revised their application in the following ways:

- Reduced the number of units from eight (8) to seven (7);
- Revised the site plan to comply with all side yard requirements (previously, variances to interior and exterior side yard depths were requested);
- Shifted the building back further than the Zoning By-law requires on the exterior side yard to better reflect the existing setback of dwellings to the north;
- Incorporated a full length, covered porch on the Ord Street façade to create a 'stepped down' approach, softening the impact of the second storey height;
- Introduced gables in the Ord Street façade roofline to create interest and further articulate the design of this street facing facade; and
- Indicated that the design of the building will be a combination of stone/brick, siding and other materials to help create visual interest and reduce the impact of the massing of the building.

The changes to the architectural drawings satisfy concerns raised by planning staff. By reducing the number of units, meeting the yard depth requirements of the Huron East Zoning By-law, adjusting the location of the proposed building, further articulating the facades of the buildings and incorporating additional detail on the Ord Street elevation, the proposed development now conforms with the goals and vision of the Huron East Official Plan.

The subject application does represents a significant shift in the overall neighbourhood design in that it changes the traditional lotting pattern (dwellings fronting on Louisa and Ord Streets). The impact of this shift is most significant for the property abutting to the north which, instead of having one side yard abutting his property, will now have seven (7) rear yards. To help address this, a planting strip or fence will be required (with feedback from the abutting owner) to be established along the rear of the severed and retained lots to help mitigate potential impacts. The change to the lotting pattern does allow for efficient use of land to be made and for this property to act as a transition between the industrial activities to the south and the low density residential area to the north.

Zoning Conformity of Lots for Proposed Use

The proposed lots are deficient with respect to overall lot depth for the proposed use. The Huron East Zoning By-law requires that multiple attached dwellings be located on lots with 38 metres in depth. The severed and retained lots are approximately 35.5 metres in depth. The minor variance is recommended as a condition of the consent.

Compatibility with Neighbouring Industry

The subject property abuts an active industrial area, including the railway, to the south. A noise assessment was completed by Nous Environmental to support the subject application. The study states that “the noise that will be experienced at the building facades of Lot A and B are slightly above the exclusion limits for non-impulsive sounds...these exceedances occur on the south facades of the proposed development only”. It further states that the proposed outdoor living areas are outside of the exclusion limits and that while there are slight exceedances (in the order of 3 dBA), it is their opinion that mitigation measures to ensure compliance are not warranted at this time as. The study suggests that the noise model is based off of a worst case scenario and that 3 dBA is generally imperceptible.

It has been noted that Huron Street experiences high volumes of truck traffic, particularly in winter months. The introduction of eight, residential driveways onto Huron Street will require changes to how Huron Street is utilized, such as the practice of ‘queuing’ of trucks along this street. It is recommended that a ‘no on-street parking’ sign is erected on the south side of Huron Street to help avoid potential issues.

Servicing

The lots are proposed to be serviced by municipal water and storm sewer however the design of said services is not typical. The original lots (Lots 221 and 222) were designed as lots which would front onto and be serviced by municipal services on Ord Street; the proposed development will front onto Huron Street if approved. There is no sanitary sewer on Huron Street in proximity to the subject property and the water line is on the south side of Huron; this information was brought to the attention of the applicants in early pre-consultation discussions. As a result, the developer retained the services of GM BluePlan to design a site servicing layout which would allow the water and sanitary sewer to be brought from Ord Street through the rear yards of the proposed severed and retained lots and service the units from the rear. As the pipe would cross multiple parcels, the ownership and long term maintenance of the services are of particular concern. The developer has proposed that the pipe would be owned by the Municipality. Barry Mills has reviewed the proposal on behalf of the Municipality and indicated that the Municipality is willing subject to the developer entering into an agreement with the Municipality and covering all costs associated with construction, the Ministry of Environment Environmental Compliance Approval process, and any other costs identified. The developer has indicated that they are agreeable to these terms.

In terms of stormwater, there is an existing easement running along the western extent of the severed parcel which forms part of a larger easement that serves the neighbourhood. Water is directed through this easement south to the storm sewer on Huron Street. The proposed lots will be required to be graded such that the storm water flows to the north first, then directed west to this easement and finally south to the storm sewer on Huron. Comments from a neighbour were received, wanting to ensure that all drainage easements would be registered in favour of the Municipality; this is the intention and is recommended through a condition.

Summary

In summary, this application presents the opportunity to introduce a new form of housing to the Seaforth market which helps to diversify the building stock, enhance affordability and create more complete neighbourhoods. Revisions to the design reduce the incompatibilities with the existing residential neighbourhood and as such, the proposed development conforms to the Huron East Official Plan. It is recommended that this application be approved with the following conditions.

Sincerely,

'Original signed by'

Denise Van Amersfoort, Senior Planner

Site Inspection: May 28, 2019 & June 11, 2019

Recommended Conditions (denoted by ✓)

Expiry Period

- ✓ Conditions imposed must be met within one year of the date of notice of decision, as required by Section 53(41) of the Planning Act, RSO 1990, as amended. If conditions are not fulfilled as prescribed within one year, the application shall be deemed to be refused. Provided the conditions are fulfilled within one year, the application is valid for two years from the date of the notice of decision.

Municipal Requirements

- ✓ All municipal requirements be met to the satisfaction of the municipality including servicing connections if required, cash-in-lieu of park dedication, property maintenance, compliance with zoning by-law provisions for structures, compliance with Section 65 of the Drainage Act and any related requirements, financial or otherwise.
- ✓ The severed parcel be numbered and addressed for 911 purposes to the satisfaction of the municipality.
- ✓ That the amount of \$500 be paid to the Municipality as cash in lieu of parkland.

Survey / Reference Plan

- ✓ Provide to the satisfaction of the County and the Municipality:
 - a) a survey showing the lot lines of the severed parcel, easements, and the location of any buildings thereon, and
 - b) a reference plan based on the approved survey;
 - c) Where a violation of any municipal zoning by-law is evident, the appropriate minor variance or rezoning be obtained to the satisfaction of the Municipality.

Easements

- ✓ That a 5 metre wide easement along the northern extent of the severed and retained lands be registered in favour of the Municipality for the purposes of drainage and servicing which also has the effect of prohibiting any accessory buildings, alteration to grades, etc. to the satisfaction of the Municipality.
- ✓ That a 3 metre wide easement along the western extent of the severed lands be registered in favour of the Municipality for the purpose of drainage.
- ✓ That the easement along the north and western extent of the severed parcel also be registered in favour of the retained lands for the purpose of drainage.

Other

- ✓ That the developer enter into a development agreement with the Municipality with respect to the proposed servicing design, the installation of a fence and landscaping to the satisfaction of the Municipality.
- ✓ That the developer obtain a minor variance to the satisfaction of the Municipality.

To: Municipality of Huron East, Mayor and Members of Council
From: Denise Van Amersfoort, Senior Planner
Date: July 10, 2019

Re: **Site Plan Control Application**
Lot 18, Plan 133, Tuckersmith Ward (18 Fifth Avenue, Vanastra)
Applicant/Owner: Aaron Wozniak of 10368407 Canada Inc.

RECOMMENDATION

It is recommended that Council enter into a Site Plan Agreement with the owner of 18 Fifth Avenue, Vanastra.

PURPOSE

The purpose of this application is to permit a one-storey 'lean to' type addition on the north side of the existing building. The addition will facilitate the expansion of the welding and fabrication business which is currently operating on the subject site.

The Site Plan and Building Elevations are attached to this report for reference purposes.

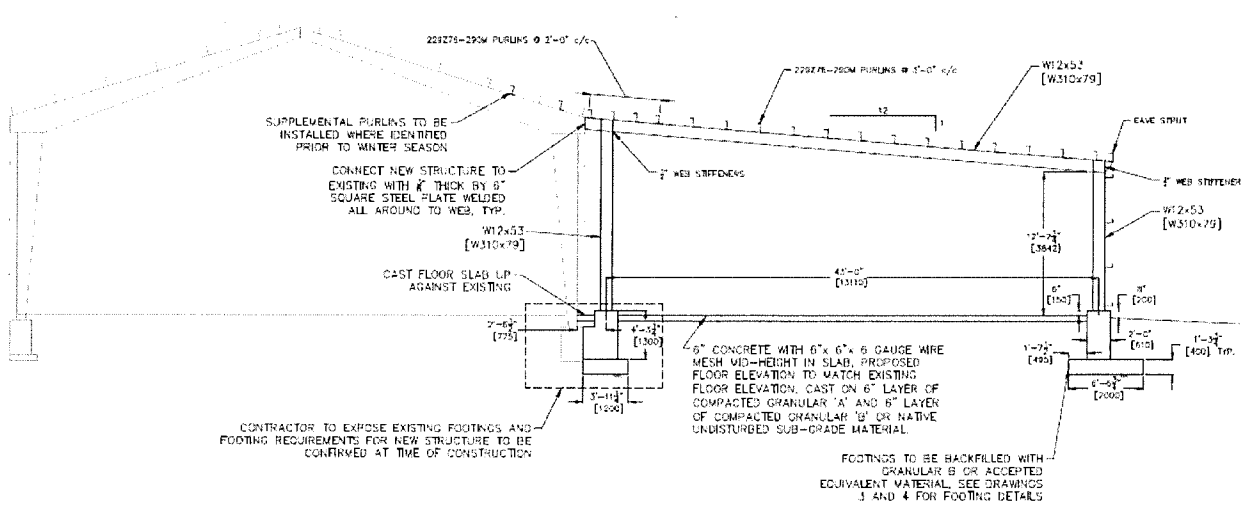
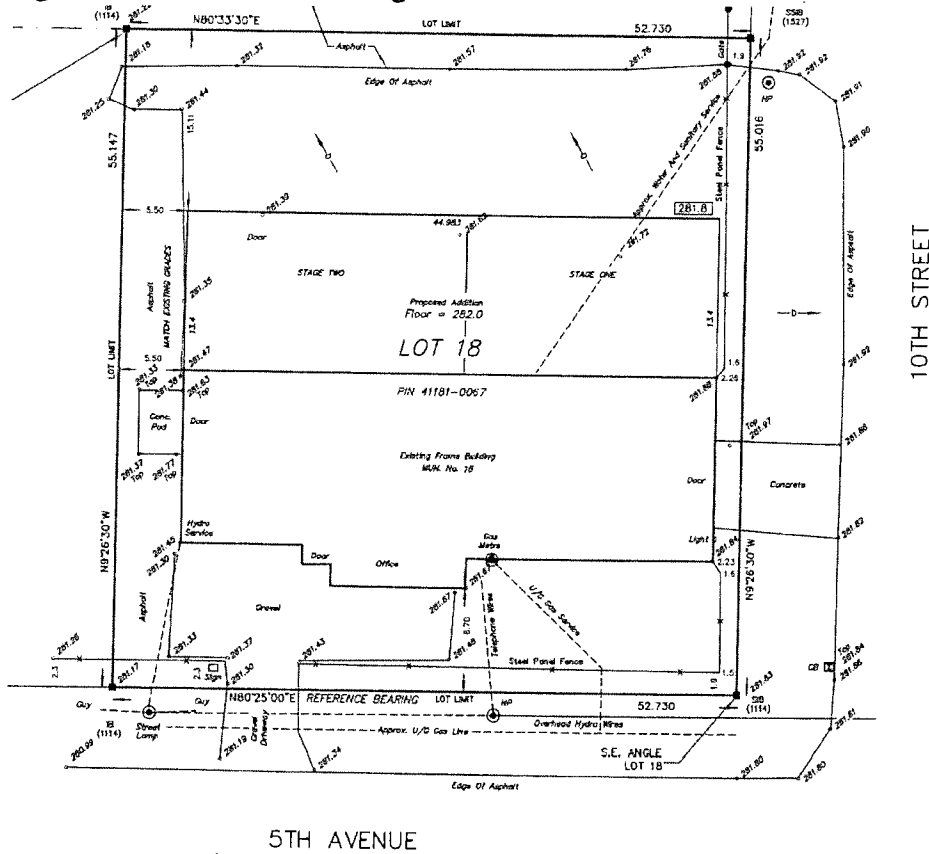
REVIEW

The subject lands are designated Commercial/Industrial in the Huron East Official Plan and zoned Industrial Zone (IND) on Zone Map 38 of the Huron East Zoning By-law. The property is surrounded by other industrial uses and zones.

Figure 1: Subject Property



Figure 2: Site Plan and Building Elevations



SHOP ADDITION - SECTION
SCALE 1:100 (METRIC)



No.	DATE	REVISION
1	Mar 27, 2019	Issued for Client Review
2	May 23, 2019	Issued for Contractor
3	June 6, 2019	Revised - Issued for Contractor
4	June 6, 2019	Revised - Issued for Contractor
5	July 2, 2019	Revised - Issued for Contractor



Wozniak Welding and Fabrication
Shop Addition
Existing and Proposed
Cross-Section

CONTRACT No. _____
SCALE (1:147)
As Noted

The proposed addition will be built in two phases with the easterly phase occurring first. The addition does not alter the entrances to the property but will require new hook ups for water and sewer as the addition is proposed to be built over the existing water and sewer services.

The new addition complies with the Huron East Zoning By-law (52-2006). The By-law allows legal non-complying side yards to be extended provided the building is no closer to the property line than the existing building; this applies to the exterior side yard on this property (on the east side). The existing building is set back 2.23 metres from the property line and this reduced setback is proposed to apply to the new building. The owner was made aware that no further overhead doors are permitted on the east side as they create further encroachments onto the municipal road allowance.

OTHERS CONSULTED

This Site Plan has been reviewed the Brad Knight, CAO/Clerk; Barry Mills, Head of Public Works and Brad Dietrich, Chief Building Official in addition to myself.

SUMMARY

It is recommended that Council enter into the attached agreement for the further development of the site.

Sincerely,
'Original signed by'

Denise Van Amersfoort, RPP
Senior Planner



PLANNING & DEVELOPMENT

57 Napier Street, Goderich, Ontario N7A 1W2 CANADA

Phone: 519.524.8394 Ext. 3 Fax: 519.524.5677

Toll Free: 1.888.524.8394 Ext. 3

www.huroncounty.ca

5-15-5

To: Municipality of Huron East, Mayor and Members of Council
From: Denise Van Amersfoort, Senior Planner
Date: July 10, 2019

Re: **Site Plan Control Application**
Concession 1, North Part Lot 53 and 54, Grey Ward, Municipality of Huron East (known municipally as 44743 Amberley Road)

Applicant/Owner: Molesworth Farm Supply

RECOMMENDATION

It is recommended that Council enter into a Site Plan Agreement with the owner of 44743 Amberley Road.

PURPOSE

The purpose of this application is to permit the construction of a new agricultural feed mill and also to apply site plan control to the existing mill site. The subject development has had related applications in recent years (Consent B88/2017 and Zoning By-law Amendment Z07/2018).

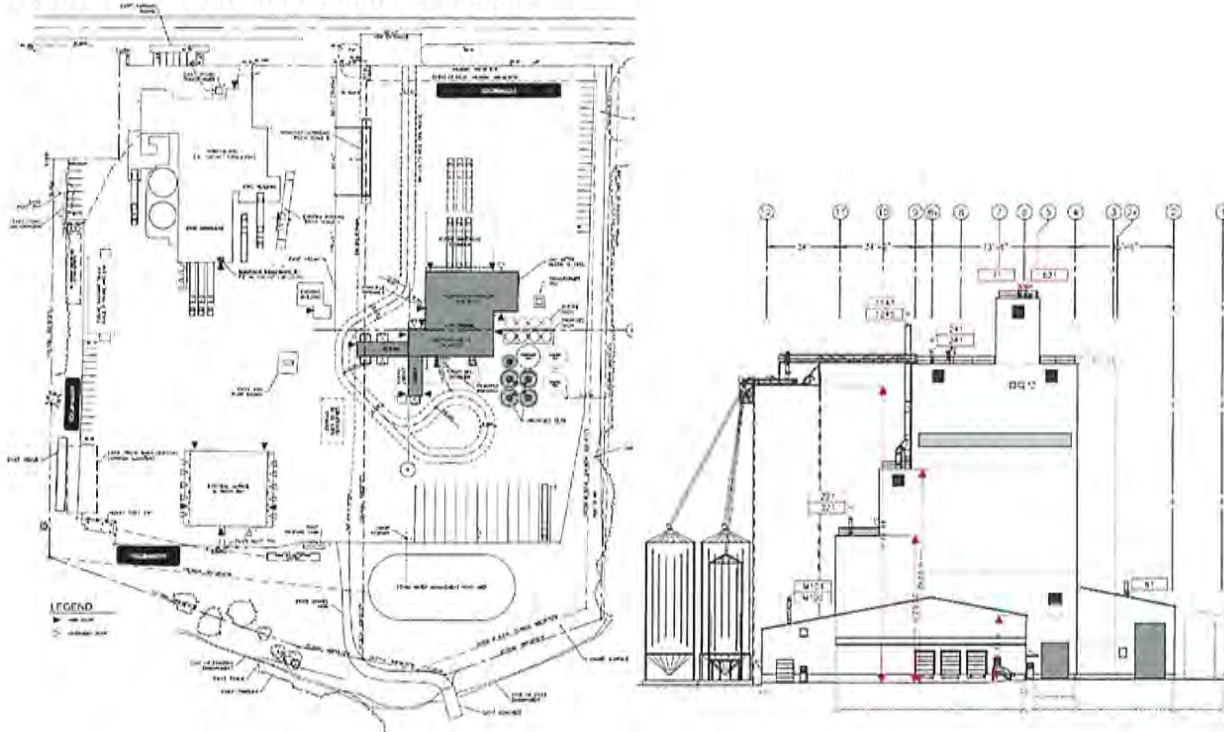
REVIEW

As a condition of the associated consent application, the subject lands merged on title with the original Molesworth Farm Supply property; however, both retained their designations. As a result, the west half of the property is designated Urban in the Huron East Official Plan and zoned C1 (Key Map 3A) while the east half is designated Agriculture in the Official Plan and zoned Agriculture Commercial Industrial – Special Zone (AG3-12) in the Huron East Zoning By-law (Key Map 3). The difference does not create an issue for the purpose of site plan control.

Figure 1: Subject Property



Figure 2: Site Plan and Building Elevations



Planning Review

The subject property is approximately 5 ha (12.5 acres). The development of the proposed feed mill is proposed as follows:

- Construction of mill, warehouse and numerous silos totaling 16,518 square feet of new building.
 - The original site has 39,683 square feet of existing building for a total of 56,201 square feet overall.
- Servicing
 - Serviced by private well and wastewater disposal systems.
 - Construction of a stormwater management facility in the south-east corner of the property which will benefit the entire site.
- Access
 - Will be achieved through the two, existing entrances and a third, new entrance which has been approved by the County of Huron Public Works Department.
- Parking
 - 14 new spaces for trucks and 22 new spaces for typical vehicles.

The site plan also denotes how future expansion of the mill would occur. The existing and proposed development complies with the Huron East Zoning By-law.

In terms of the compatibility with existing residential uses, the applicants were required to demonstrate that the potential noise and dust from the proposed feed mill would not adversely impact the surrounding community. A Noise Impact Study was prepared by HGC Engineering in support of the associated re-zoning; the study analyzed the sound emissions from the proposed mill

and concluded that it would be within the Ministry of Environment and Climate Change Guideline NPC 300 thresholds. For dust considerations, the Manager of Operations submitted an explanation of how the new mill will be designed to minimize dust emissions. An excerpt from that letter is as follows: "The proposed mill will be designed to include a full dust collection system throughout the manufacturing process, as well as at the receiving pit. This system will contain dust at the points of origin by vacuuming the dust into a waste receptacle, very much like a central vacuum system. The proposed mill structure will be enclosed which will also minimize dust escaping into the surrounding air". Proposed elevations are consistent with this explanation in that the proposed mill is enclosed (see Figure 2). The Ministry of Environment and Climate Change will regulate all emissions through the Environmental Compliance Approval process.

OTHERS CONSULTED

This Site Plan has been reviewed the Brad Knight, CAO/Clerk; Barry Mills, Head of Public Works and Brad Dietrich, Chief Building Official in addition to myself. Municipal staff are satisfied with the proposal proceeding as per the conditions in the attached site plan agreement.

Maitland Valley Conservation Authority has reviewed the proposal and provided comments stating that they have no concerns with water quantity control or quality, the pond construction is required to be supervised by a Geotechnical Engineer to ensure conformance with all aspects of the Geotechnical Report, and that a Conservation Authority Permit will be required for the stormwater management pond outlet to the watercourse.

The County of Huron Public Works Department issued a new entrance permit to the subject development on October 4, 2018.

The Province of Ontario will be involved in issuing an Environmental Compliance Approval (ECA) for the new mill. This approval is issued by the Ministry of Environment, Conservation and Parks and will address all emissions (noise, dust, etc.) emitted by this facility. The ECA process involves on-going monitoring and reporting to ensure that the proposed feed mill continues to operate within Provincial thresholds for emissions, discharges and wastes.

SUMMARY

It is recommended that Council enter into the attached agreement for the further development of the site.

Sincerely,
'Original signed by'

Denise Van Amersfoort, RPP
Senior Planner

5-15-6 - 7:45 pm

Main Street (County Road 12) Reconstruction - Phase 2 Goderich Street to Lloyd Eisler

COUNCIL MEETING 1

July 16, 2019



Agenda

- Background and Undertaking
- Project Limits and Timing
- Team Approach
- Scope of Work
- Project Constraints
- Conceptual Design
- Managing Construction
- Next Steps





Some Background

- Main Street is considered an urban arterial road.
- AADT of ~3400 vehicles per day.
- Posted speed of 50 km/hr.
- The road was last resurfaced in 1999 and pavement surface is nearing the end of its useful life.
- Existing storm drainage system undersized.
- Rear water system aged and not preferred.

Project Undertaking

- Huron County in partnership with Huron-East awarded the RFP for the reconstruction of Main Street (County Road 12) to BMROSS in May 2018.
- Project Phased – Kippen Road / Main Street
- The project involves the reconstruction of the road, storm, sanitary (mostly on Kippen Road), and water.
- Revitalization of the Seaforth downtown core including accessibility improvements.
- Significant undertaking – requires planning for construction and overall buy-in from stakeholders.



PROJECT LIMITS, PHASING, TIMING

Project Limits

- Constructed in two contracts. Each phase is roughly 1km in length.
- Phase 1 – Kippen Rd - Front St to Lloyd Eisler
 - **Under Construction**

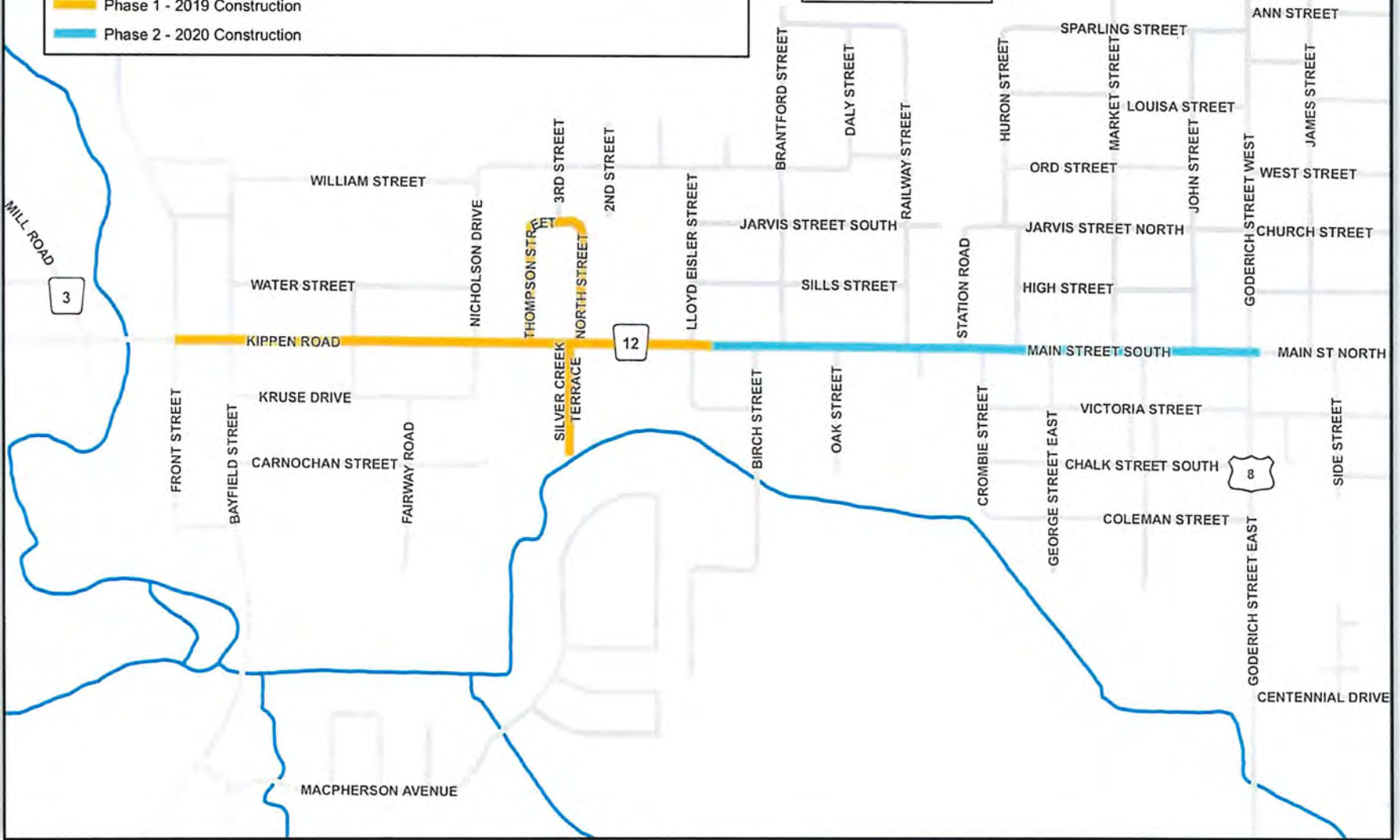
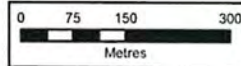


- Phase 2 – Main St - Lloyd Eisler to Goderich St.
 - **Current Design Focus**
 - Revitalization of downtown Core



Legend

- Phase 1 - 2019 Construction
- Phase 2 - 2020 Construction



Timing for Phases

- Engineering work began in the summer of 2018 with survey and site investigations completed within the limits of both phases.



6-15-1



Municipality of Huron East
Accounts Payable Listing for Council
As of July 11, 2019

Cheque Number	Date	Vendor Check Name	Invoice Description	Amount Paid
12694	6/18/2019	Devereaux Murray	BALANCE - PURCHASE - A MARTIN	386,106.43
12695	6/18/2019	Parks & Recreation Ontario	VRC - HIGH 5 REGISTRATION 2019	141.25
12696	6/27/2019	Equitable Life of Canada	GROUP INSURANCE - JULY 2019	13,618.91
12697	6/27/2019	G. Heard Construction Ltd	SFD - INCIDENT 19-038-523	457.65
12698	6/27/2019	Minister of Finance	EHT - JUNE 2019	5,074.27
12699	6/27/2019	Receiver General	PAYROLL DEDUCTIONS - JUNE 16-30	29,667.10
12700	6/27/2019	HE/Seaforth Comm Develop Trust	DEBENTURE P & I	8,088.35
12701	6/27/2019	Workplace Safety & Ins Board	WSIB - JUNE 2019	7,432.10
12702	7/2/2019	Petty Cash-Cash Drawer	ADMIN - SUPPLIES	76.05
12703	7/11/2019	552976 Ontario Limited	PW - DUST CONTROL	146,840.65
12703	7/11/2019	552976 Ontario Limited	PW - DUST CONTROL	46,278.39
12704	7/11/2019	Bluewater Recycling Association-MARS	JULY CO COLLECTION	1,039.22
12704	7/11/2019	Bluewater Recycling Association-MARS	3RD QUARTER RECYCLING	46,232.30
12705	7/11/2019	Jennison Construction	PW - GRAVEL	128,580.02
12706	7/11/2019	Kurtis Smith Excavating Inc	PYMNT CERT 8 - DUKE/CENTENNIAL	113,706.01
12707	7/11/2019	Lavis Contracting Co Ltd	PYMNT CERT 3 KIPPEN RD RECON	179,051.31
12708	7/11/2019	McCann Redi-Mix Inc	RDS - GRAVEL	378,139.70
12709	7/11/2019	Minister Of Finance	TDL P & I	869.55
12709	7/11/2019	Minister Of Finance	TDL P & I	1,779.87
12709	7/11/2019	Minister Of Finance	OPP COSTS - MAY 2019	134,158.00
12709	7/11/2019	Minister Of Finance	TDL P&I	1,589.66
12710	7/11/2019	OMI Canada Inc	W/WW - JULY SERVICES	61,315.67
12711	7/11/2019	Ravens-Green Holding Inc	70% RELEASE OF SECURITIES	70,000.00
12712	7/11/2019	R J Burnside & Associates Ltd	MCKENZIE MUNICIAPL DRAIN	6,327.42
12712	7/11/2019	R J Burnside & Associates Ltd	COX MUNICIPAL DRAIN	5,877.13
12712	7/11/2019	R J Burnside & Associates Ltd	BRUSSELS WWTP FILTER/UV UPGRADE	17,439.60
12712	7/11/2019	R J Burnside & Associates Ltd	HE DRAINAGE SUPERINTENDENT	7,927.97
12712	7/11/2019	R J Burnside & Associates Ltd	GEIGER MUNICIPAL DRAIN	6,956.23
12712	7/11/2019	R J Burnside & Associates Ltd	CHARTERS MUNICIPAL DRAIN	8,195.60
12712	7/11/2019	R J Burnside & Associates Ltd	HANEY DRAINAGE WORKS	6,107.91
12713	7/11/2019	Work Equipment Ltd	PW - TRACKLESS	124,187.00
12714	7/11/2019	680084 Ontario Ltd.	GEIGER DRAIN - BACKHOE	576.30
12715	7/11/2019	Artech Signs & Graphics	M10 HENSALL RD - SIGNS	339.00
12715	7/11/2019	Artech Signs & Graphics	RDS - NO EXIT SIGN	140.12
12715	7/11/2019	Artech Signs & Graphics	KIPPEN RD CONTRUCTION - SIGNS	548.05
12715	7/11/2019	Artech Signs & Graphics	BMG - POOL/BALL PARK SIGNS	129.95
12715	7/11/2019	Artech Signs & Graphics	SLIB - WASHROOM SIGN	56.50
12715	7/11/2019	Artech Signs & Graphics	BFD - SIGNS	180.80
12716	7/11/2019	Association Of Ontario Road Supervisors	PW - GRAVEL ROAD SCHOOL	900.61
12717	7/11/2019	Bachert Meats Inc	RELEASE SITE PLAN SECURITIES	1,000.00
12718	7/11/2019	Barmy Tech	BFD - T-SHIRTS SILK SCREENING	379.68

12719	7/11/2019 BEARD WINTER LLP	SANCINI CLAIM - JLTPS-015	1,330.94
12720	7/11/2019 Bell Canada	PHONE - SCADA JUNE	121.17
12721	7/11/2019 Bloom's and Rooms	OUTDOOR BOWS - BLUE/GOLD	723.20
12722	7/11/2019 Municipality of Bluewater	VERLINDE MUNICIPAL DRAIN	1,102.55
12722	7/11/2019 Municipality of Bluewater	BLUEWATER FIRE CALL	400.00
12723	7/11/2019 B M Ross & Associates Limited	W/WW - CONNECTING LINK 2019 AP	546.13
12723	7/11/2019 B M Ross & Associates Limited	STRUCTURE M10 HENSALL RD	775.57
12723	7/11/2019 B M Ross & Associates Limited	DUKE CENTENNIAL EXTENSION	1,645.73
12723	7/11/2019 B M Ross & Associates Limited	CHURCH ST RECONSTRUCTION	822.65
12724	7/11/2019 Brussels Agri Services Ltd.	RDS - SUPPLIES	225.95
12725	7/11/2019 Brussels Agromart Ltd	PW - GRASS SEED	196.34
12725	7/11/2019 Brussels Agromart Ltd	RDS - GRASS SEED	392.68
12726	7/11/2019 Bureau Veritas Canada (2019) Inc	GFD - SCBA AIR TESTING	372.90
12727	7/11/2019 CAMPAIGN COACHES INC	BMG - FUNDRAISING FEASIBILITY	10,017.59
12728	7/11/2019 Canadian Security Concepts Inc	SDCC - EVENT SECURITY APRIL 20	379.57
12728	7/11/2019 Canadian Security Concepts Inc	SDCC - EVENT SECURITY MAY 25	409.96
12729	7/11/2019 Carson Supply	W/WW - PARTS	267.54
12729	7/11/2019 Carson Supply	W/WW - PARTS	644.76
12729	7/11/2019 Carson Supply	W/WW - PARTS	50.25
12729	7/11/2019 Carson Supply	W/WW - PARTS	50.25
12729	7/11/2019 Carson Supply	W/WW - PARTS	578.88
12730	7/11/2019 Centra Door North Company Ltd	BFD - OVERHEAD DOORS INSTALL	1,582.00
12731	7/11/2019 Clinton Foodland	TDN - GROCERIES	32.83
12731	7/11/2019 Clinton Foodland	TDN - GROCERIES	15.46
12732	7/11/2019 Coco Paving Inc	RDS - COLD MIX	1,583.70
12733	7/11/2019 ContinuiT Corp	ADMIN - DUO SOFTWARE	15.26
12733	7/11/2019 ContinuiT Corp	VRC - TECH SUPPORT	73.45
12733	7/11/2019 ContinuiT Corp	ADMIN - NETWORK SUPPORT	1,084.80
12734	7/11/2019 Cut Rite Tree Service	PW - STUMP GRINDING	452.00
12735	7/11/2019 KEN DEVRIES	HE FIRE STATION - TRANING	450.00
12736	7/11/2019 Diversco Supply Inc	BFD - FILTERS SCBA COMPRESSOR	301.74
12737	7/11/2019 TYLER ECKERT	SFD - FF MEDICAL REPORT	50.00
12738	7/11/2019 Edward Fuels	BIA GIFT CERTIFICATE REDEEMED	35.00
12739	7/11/2019 Elligsen Electric Ltd	VRC - R&M SAUNA/POOL LIGHT	372.44
12740	7/11/2019 Eric Cox Sanitation Equipment & Supplies	SDCC - JANITORIAL SUPPLIES	457.37
12741	7/11/2019 Everclean Mat Rentals	TH/FHT - MAT SERVICE	171.78
12741	7/11/2019 Everclean Mat Rentals	TH/FHT - MAT SERVICE	171.78
12742	7/11/2019 EXCEL BUSINESS SYSTEMS	ADMIN - COPIER TONER	579.69
12742	7/11/2019 EXCEL BUSINESS SYSTEMS	ADMIN - COPIER COSTS	235.76
12743	7/11/2019 Fairholme Dairy Ltd	TDN - MILK/YOGURT/CHEESE	175.77
12743	7/11/2019 Fairholme Dairy Ltd	TDN - MILK	46.88
12743	7/11/2019 Fairholme Dairy Ltd	TDN - MILK/YOGURT/CHEESE	157.02
12743	7/11/2019 Fairholme Dairy Ltd	TDN - MILK	64.46
12744	7/11/2019 Festival Hydro	BMG - PARK LIGHTS	144.07
12744	7/11/2019 Festival Hydro	HYDRO - BMG PAVILLION	45.97
12744	7/11/2019 Festival Hydro	HYDRO BMG POOL	352.49
12745	7/11/2019 Fishbowl Studio	EDO - STANLEY CUP/CON SMYTHE	33.90
12745	7/11/2019 Fishbowl Studio	EDO - O'REILLY BANNERS DESIGN	135.60
12746	7/11/2019 Food Basics	TDN - GROCERIES	176.00
12746	7/11/2019 Food Basics	TDN - GROCERIES	418.59
12746	7/11/2019 Food Basics	TDN - GROCERIES	277.27

12746	7/11/2019 Food Basics	TDN - GROCERIES	43.63
12746	7/11/2019 Food Basics	TDN - GROCERIES	335.88
12746	7/11/2019 Food Basics	TDN - GROCERIES	48.60
12746	7/11/2019 Food Basics	TDN - GROCERIES	294.53
12746	7/11/2019 Food Basics	TDN - GROCERIES	28.75
12747	7/11/2019 FPS Occupational Health Management Inc	SFD/BFD-FIT TESTING SCBA MASKS	1,101.75
12748	7/11/2019 Frank Kling Limited	PW - STONE DUST	44.06
12749	7/11/2019 GABEL ELECTRIC	BMG - R&M WATER HEATER	112.44
12749	7/11/2019 GABEL ELECTRIC	W/WW - SERVICE CALL	107.35
12750	7/11/2019 GM BluePlan Engineering Limited	BAILLIE DRAIN ABANDONMENT	598.90
12750	7/11/2019 GM BluePlan Engineering Limited	BRIARHILL SUBD PEER REVIEW	4,423.95
12750	7/11/2019 GM BluePlan Engineering Limited	BRYAN/ANDERSON DR SUBDIVISION	3,136.43
12750	7/11/2019 GM BluePlan Engineering Limited	BRIARHILL RD PEER REVIEW	864.45
12751	7/11/2019 Grays Custom Welding	BMG - R&M TRACTOR LIFT	175.00
12752	7/11/2019 Harrington McAvan Ltd.	KELLY PIT SITE PLAN AMENDMENT	652.58
12753	7/11/2019 BRAD HODGKINSON	HE FIRE STATION - TRAINING	150.00
12754	7/11/2019 H.O. Jerry (1983) Ltd.	FHT - JANITORIAL SUPPLIES	539.41
12754	7/11/2019 H.O. Jerry (1983) Ltd.	BMG - HALL SUPPLIES	155.32
12754	7/11/2019 H.O. Jerry (1983) Ltd.	VRC - JANITORIAL SUPPLY	82.65
12754	7/11/2019 H.O. Jerry (1983) Ltd.	FHT - JANITORIAL SUPPLIES	103.93
12754	7/11/2019 H.O. Jerry (1983) Ltd.	VRC - JANITORIAL SUPPLIES	123.34
12754	7/11/2019 H.O. Jerry (1983) Ltd.	TDN - PORTION CUPS	46.99
12754	7/11/2019 H.O. Jerry (1983) Ltd.	TDN - LAUNDRY SOAP/SOAP/TISSUE	191.00
12755	7/11/2019 Hollandia Gardens Limited	VRC - POOL SUPPLIES	186.45
12755	7/11/2019 Hollandia Gardens Limited	VRC - POOL SUPPLIES	576.75
12756	7/11/2019 Horton's Dairy	BMG - ORANGE JUICE	332.16
12757	7/11/2019 HSE Integrated Ltd	GFD - SCBA ANNUAL MAINTENANCE	1,968.40
12758	7/11/2019 Huron Manufacturing Assoc.	HMA AGO REGISTRATION	105.00
12759	7/11/2019 Huron Tire & Auto	RDS - R&M T8-09	129.11
12760	7/11/2019 Huronia Welding & Industrial	SFD - EXTINGUISHER INSPECTION	386.46
12760	7/11/2019 Huronia Welding & Industrial	RDS - SUPPLIES	62.00
12760	7/11/2019 Huronia Welding & Industrial	BMG - REFRIGERATION TRAILER	480.25
12761	7/11/2019 County of Huron	SEVERANCE - WOZNIAK	2,121.00
12762	7/11/2019 Huron Bay Co-Operative Inc	BMG - CHLORINE	47.91
12763	7/11/2019 Huron Transmission & Automotive Repair	RDS - SHOP SUPPLIES	162.04
12764	7/11/2019 Hydro One	HYDRO CRES DR 2002 2897 4430	10.86
12765	7/11/2019 Ideal Supply Company Limited	SFD - CHARGER	410.18
12765	7/11/2019 Ideal Supply Company Limited	W/WW - SUPPLIES	490.58
12765	7/11/2019 Ideal Supply Company Limited	TH - CABLE TIES	11.85
12765	7/11/2019 Ideal Supply Company Limited	TH - CABLE TIES	5.67
12765	7/11/2019 Ideal Supply Company Limited	RDS - SUPPLIES	490.58
12765	7/11/2019 Ideal Supply Company Limited	RD S- SUPPLIES	107.17
12765	7/11/2019 Ideal Supply Company Limited	W/WW - SUPPLIES	14.45
12765	7/11/2019 Ideal Supply Company Limited	RDS - SUPPLIES	107.17
12766	7/11/2019 Innovative Security Systems	SLIB - ANNAL SECURITY MONITERING	271.20
12766	7/11/2019 Innovative Security Systems	BMG - MONITERING COSTS	271.20
12767	7/11/2019 Innovative Flooring	TH - FLOORING 2ND FLOOR	6,461.82
12768	7/11/2019 JEM POLYDOOR	BFD - NEW OVERHEAD DOORS	10,848.00
12769	7/11/2019 JLH EXCAVATING INC	HIGGERSON RYAN MD	2,175.26
12769	7/11/2019 JLH EXCAVATING INC	NASH DRAIN	1,700.66
12769	7/11/2019 JLH EXCAVATING INC	LAWRENCE MD	1,344.70

12770	7/11/2019 John McKercher Construction	BCEM - TOPSOIL	416.97
12771	7/11/2019 JR's Gas Bar & Family Rest.	BCEM - GAS	13.00
12771	7/11/2019 JR's Gas Bar & Family Rest.	BMG - GAS - LAWN MOWER	12.50
12771	7/11/2019 JR's Gas Bar & Family Rest.	BMG - GAS - LAWN MOWER	12.50
12771	7/11/2019 JR's Gas Bar & Family Rest.	BMG - GAS - LAWN MOWER	11.50
12771	7/11/2019 JR's Gas Bar & Family Rest.	BMG - GAS - LAWN MOWER	13.00
12771	7/11/2019 JR's Gas Bar & Family Rest.	BMG - GAS - LAWN MOWER	14.51
12771	7/11/2019 JR's Gas Bar & Family Rest.	BMG - GAS - LAWN MOWER	11.51
12772	7/11/2019 Keating's Pharmacy Ltd.	W/WW - BANDAIDS	33.42
12773	7/11/2019 CHAD KREGAR	HE FIRE STATION - TRAINING	450.00
12774	7/11/2019 KTI LIMITED	W/WW - PARTS	1,799.46
12775	7/11/2019 The Lawn Master	RD S- GRASS SEED	483.64
12776	7/11/2019 Drusilla Leitch	VRC - SPRING SESSION CLASSES	621.00
12777	7/11/2019 Lifesaving Society	VRC/BMG 2019 AFFILIATION FEES	200.00
12778	7/11/2019 Listowel Banner	PW - ADVERTISING	189.84
12779	7/11/2019 Maitland Valley Conservation A	M10 STRUCTURE - HENSALL RD	1,900.00
12780	7/11/2019 Marco-Clay Products Inc	BMG - BALL PARK MAINTENANCE	3,934.60
12781	7/11/2019 MARCREST HOLDINGS INC	BALANCE SITE SECURITIES	2,500.00
12782	7/11/2019 McDonald Home Hardware Building Centre	FHT - PICTURE HOOKS	27.07
12782	7/11/2019 McDonald Home Hardware Building Centre	BCEM - ROOF REPAIR	2,551.48
12782	7/11/2019 McDonald Home Hardware Building Centre	BCEM - ROOF REPAIR	86.02
12782	7/11/2019 McDonald Home Hardware Building Centre	BMG - PADLOCKS	10.16
12782	7/11/2019 McDonald Home Hardware Building Centre	BCEM - SOFFIT	153.57
12782	7/11/2019 McDonald Home Hardware Building Centre	BCEM - SOFFIT	12.41
12782	7/11/2019 McDonald Home Hardware Building Centre	RDS - SUPPLIES	41.79
12782	7/11/2019 McDonald Home Hardware Building Centre	PW - BRUSSELS - SIGNS	684.53
12782	7/11/2019 McDonald Home Hardware Building Centre	BMD - SIGN	9.03
12782	7/11/2019 McDonald Home Hardware Building Centre	RDS - SUPPLIES	5.64
12782	7/11/2019 McDonald Home Hardware Building Centre	BLDG/PROP - TOOLS	101.69
12782	7/11/2019 McDonald Home Hardware Building Centre	PW - MCKILLOP SHED - DOORS	3,606.21
12782	7/11/2019 McDonald Home Hardware Building Centre	PW - GREY SHED DOORS	4,005.90
12782	7/11/2019 McDonald Home Hardware Building Centre	BLDG/PROP - TOOLS	37.26
12782	7/11/2019 McDonald Home Hardware Building Centre	PW - BRUSSELS - FENCE	777.99
12782	7/11/2019 McDonald Home Hardware Building Centre	BLIB - CLEANING SUPPLIES	55.92
12782	7/11/2019 McDonald Home Hardware Building Centre	BMG - DRAIN COUPLING	23.70
12782	7/11/2019 McDonald Home Hardware Building Centre	BMG - CAULKING	6.77
12782	7/11/2019 McDonald Home Hardware Building Centre	BMG - PET WASTE DISPENSER	5.64
12782	7/11/2019 McDonald Home Hardware Building Centre	BMG - DOORS	2,420.57
12782	7/11/2019 McDonald Home Hardware Building Centre	BMG - DOOR SWEEPS	171.67
12782	7/11/2019 McDonald Home Hardware Building Centre	BMG - BUG SPRAY	25.97
12782	7/11/2019 McDonald Home Hardware Building Centre	BMD - CLEANING SUPPLIES	12.75
12782	7/11/2019 McDonald Home Hardware Building Centre	BMG - MURIATIC ACID	35.01
12782	7/11/2019 McDonald Home Hardware Building Centre	BMG - CABLE TIES/KEY	19.97
12782	7/11/2019 McDonald Home Hardware Building Centre	PW - BRUSSELS - FENCE	43.49
12783	7/11/2019 McGavin Farm Equipment Ltd.	RDS - R&M G2-05	32.57
12783	7/11/2019 McGavin Farm Equipment Ltd.	RDS - SUPPLIES	9.66
12784	7/11/2019 McGregor Farms	RDS - GRASS CUTTING	26,997.96
12785	7/11/2019 Merner Aggregates Ltd.	PW - TOPSOIL	220.60
12785	7/11/2019 Merner Aggregates Ltd.	PW - TOPSOIL	66.49
12785	7/11/2019 Merner Aggregates Ltd.	PW - TOPSOIL	121.35
12786	7/11/2019 MetroCount USA Inc	RDS - BATTERY PACK TRAFFIC COUNTER	192.00

12787	7/11/2019 M G M Townsend Tire	RDS - R&M L2-19	30.91
12787	7/11/2019 M G M Townsend Tire	R&M - TIRES	54.08
12787	7/11/2019 M G M Townsend Tire	RDS - R&M DIXIE CHOPPER	33.51
12788	7/11/2019 Michelin North America Inc	RDS - R&M T8-09	2,005.03
12789	7/11/2019 Middegaal Pools & Sports	VRC - POOL SUPPLIES	52.94
12790	7/11/2019 M & L Supply	BFD - HYDRANT GATE VALVE	655.22
12791	7/11/2019 Kevin Moore	BFD - CLENAING JULY 2019	132.00
12792	7/11/2019 Municipality of Morris-Turnberry	Q2 LANDFILL CHARGES	3,241.65
12793	7/11/2019 MRC SYSTEMS INC	BFD - NEW PAGERS	1,351.48
12794	7/11/2019 Nesbitt Construction Inc	RDS -OUTLET GRATE/FILTER CLOTH	621.50
12795	7/11/2019 Township of North Huron	2ND QUARTER FIRE PREVENTION OFFICER	3,624.73
12796	7/11/2019 North Star Ice Co	SDCC - ICE	39.00
12796	7/11/2019 North Star Ice Co	BMG - ICE	117.00
12797	7/11/2019 NORTH HURON PUBLISHING INC	BFD - ADVERTISING	103.85
12797	7/11/2019 NORTH HURON PUBLISHING INC	GFD - ADVERTISING	62.31
12797	7/11/2019 NORTH HURON PUBLISHING INC	PW/ADMIN - ADVERTISING	320.47
12797	7/11/2019 NORTH HURON PUBLISHING INC	BMG - POOL SCHEDULE/ADS	540.01
12798	7/11/2019 Orkin Canada Corporation	SDCC - PEST CONTROL	89.27
12798	7/11/2019 Orkin Canada Corporation	VRC - PEST CONTROL	61.59
12798	7/11/2019 Orkin Canada Corporation	TDN - ODOUR BAGS	33.90
12799	7/11/2019 P E Inglis Holdings Inc	BFD - PORTABLE TOILET TRAINING	118.65
12800	7/11/2019 PENCON EQUIPMENT COMPANY	WW - VANASTRA - AEON OIL	507.37
12801	7/11/2019 Pete's Paper Clip	PW - BUSINESS CARDS	41.19
12801	7/11/2019 Pete's Paper Clip	CBO - OFFICE SUPPLIES	46.34
12801	7/11/2019 Pete's Paper Clip	TH - BUTNING - CANADA DAY	19.20
12801	7/11/2019 Pete's Paper Clip	VRC - OFFICE SUPPLIES	7.79
12801	7/11/2019 Pete's Paper Clip	VRC - CARDS	12.43
12801	7/11/2019 Pete's Paper Clip	RDS - OFFICE SUPPLIES	35.00
12801	7/11/2019 Pete's Paper Clip	EMC - OFFICE SUPPLIES	13.45
12801	7/11/2019 Pete's Paper Clip	BIA - SUMMERFEST POSTERS	15.82
12801	7/11/2019 Pete's Paper Clip	BIA - SUMMERFEST POSTERS	15.82
12801	7/11/2019 Pete's Paper Clip	BIA - SUMMERFEST POSTERS	15.82
12801	7/11/2019 Pete's Paper Clip	ADMIN - FILE BOXES	29.37
12801	7/11/2019 Pete's Paper Clip	TDN - TONER	68.92
12801	7/11/2019 Pete's Paper Clip	TDN - COLOUR COPIES	12.66
12802	7/11/2019 Postmedia Network Inc.	PW/ADMIN - ADVERTISING	192.10
12802	7/11/2019 Postmedia Network Inc.	ADMIN -ADVERTISING - TAXES	50.85
12803	7/11/2019 Precision Print Inc	EDO - BUSINESS CARDS/FOLDERS	779.98
12804	7/11/2019 The Public Sector Digest	AMP - ROAD MAP	5,367.50
12805	7/11/2019 Purolator Inc.	W/WW - WATER TESTING	4.78
12806	7/11/2019 Radar Auto Parts - Brussels	RDS - BATTERY	553.84
12806	7/11/2019 Radar Auto Parts - Brussels	BMG - TRAILER BALL & MOUNT	34.85
12806	7/11/2019 Radar Auto Parts - Brussels	BFD - AIR SHIELD DEF	24.85
12806	7/11/2019 Radar Auto Parts - Brussels	BFD - DISINFECTANT	111.02
12806	7/11/2019 Radar Auto Parts - Brussels	RD S- SUPPLIES	8.79
12806	7/11/2019 Radar Auto Parts - Brussels	RDS - SHOP SUPPLIES	229.19
12806	7/11/2019 Radar Auto Parts - Brussels	RD S- POWER STEERING FLUID	5.60
12806	7/11/2019 Radar Auto Parts - Brussels	RDS - BATTERIES	370.73
12806	7/11/2019 Radar Auto Parts - Brussels	RDS - SUPPLIES	3.38
12806	7/11/2019 Radar Auto Parts - Brussels	RD S- SUPPLIES	20.59
12806	7/11/2019 Radar Auto Parts - Brussels	RDS - AIR FILTER	106.37

12806	7/11/2019	Radar Auto Parts - Brussels	RDS - R&M L3-05	48.21
12806	7/11/2019	Radar Auto Parts - Brussels	RDS - SUPPLIES	31.64
12807	7/11/2019	Radar Auto Parts Inc-Clinton	RDS - R&M M2-03/L9-13	21.97
12807	7/11/2019	Radar Auto Parts Inc-Clinton	RDS - R&M L6-13	2.98
12807	7/11/2019	Radar Auto Parts Inc-Clinton	RDS - L9-13	31.37
12807	7/11/2019	Radar Auto Parts Inc-Clinton	RDS - TRAILER - BULB	6.12
12807	7/11/2019	Radar Auto Parts Inc-Clinton	RDS - SUPPLIES/R&M G1-07/L9-13	276.06
12807	7/11/2019	Radar Auto Parts Inc-Clinton	RDS - SUPPLIES	115.15
12807	7/11/2019	Radar Auto Parts Inc-Clinton	RDS - R&M L9-13/G4-94	42.49
12807	7/11/2019	Radar Auto Parts Inc-Clinton	RDS - R&M L9-13/SAFETY	98.41
12808	7/11/2019	RCAP Leasing Inc	SDCC - FLOOR SCRUBBER RENTAL	295.47
12809	7/11/2019	Realtax Inc	TAX SALE - 160 031 06900 0000	395.50
12809	7/11/2019	Realtax Inc	TAX SALE - 390 011 01700 0000	621.50
12810	7/11/2019	Receiver General	PAYROLL DEDUCTIONS - JULY 1-15	28,939.77
12811	7/11/2019	Tim Rees	BFD - MEDICAL TRAINING	197.00
12812	7/11/2019	Richardson Fire Systems Inc	SDCC - R&M EMERGENCY LIGHTING	1,582.00
12812	7/11/2019	Richardson Fire Systems Inc	SDCC - ALARM SERVICE CALL	1,022.65
12813	7/11/2019	Rintoul's Pools & Spas Ltd	BMG - POOL SUPPLIES	30.79
12814	7/11/2019	ROBINSON CHEVROLET	RDS - R&M L1-10	391.30
12814	7/11/2019	ROBINSON CHEVROLET	RDS - R&M L5-16	97.58
12815	7/11/2019	Rona Inc	SLUB - MOUNTING TAPE	10.28
12815	7/11/2019	Rona Inc	VRC - R&M DOORS	31.11
12815	7/11/2019	Rona Inc	BLDG/PROP - TOOLS	46.01
12815	7/11/2019	Rona Inc	FHT - OFFICE RENO	45.79
12815	7/11/2019	Rona Inc	RDS - SUPPLIES	6.42
12815	7/11/2019	Rona Inc	W/WW - STAKES	27.12
12815	7/11/2019	Rona Inc	W/WW - FIRE HYDRANT PAINT SUPPLIES	15.16
12815	7/11/2019	Rona Inc	W/WW - MANHOLES	67.66
12815	7/11/2019	Rona Inc	FHT - R&M BUILDING	19.04
12815	7/11/2019	Rona Inc	BCEM - BUG SPRAY	10.48
12815	7/11/2019	Rona Inc	PW - BRUSSELS - FENCE	36.39
12815	7/11/2019	Rona Inc	FHT - R&M BUILDING	2.37
12815	7/11/2019	Rona Inc	PW - COMPOST	17.50
12815	7/11/2019	Rona Inc	PW - SIGNS	186.09
12815	7/11/2019	Rona Inc	RD S- BASINS	81.05
12816	7/11/2019	Ryan Construction	WALTON LF -BACKFILL/DIG TRENCH	4,520.00
12816	7/11/2019	Ryan Construction	LOVE DRAIN	316.40
12817	7/11/2019	Ryan Enterprises Truck Repair	RDS - R&M T5-94	1,015.53
12818	7/11/2019	Schmidt's Power Equipment	PW - R&M CHAINSAW	41.37
12819	7/11/2019	Seaforth Foodland	SDCC - HALL SUPPLIES	31.65
12819	7/11/2019	Seaforth Foodland	SDCC - HALL SUPPLIES	19.16
12819	7/11/2019	Seaforth Foodland	BIA GIFT CERTIFICATE REDEEMED	60.00
12819	7/11/2019	Seaforth Foodland	ADMIN - MTG SUPPLIES	93.75
12820	7/11/2019	Seaforth Golf Course	EDO - MEETING EXPENSE - OMAFRA	29.75
12820	7/11/2019	Seaforth Golf Course	EDO - MEETING EXPENSE	34.32
12821	7/11/2019	Seaforth Plumbing & Heating	VRC - R&M BUILDING	252.84
12822	7/11/2019	Seaforth Lions Club	SDCC - PAYSHARE JUNE 15	197.50
12823	7/11/2019	SEEBACH & COMPANY	2018 AUDIT	26,555.00
12824	7/11/2019	SGS Canada Inc.	WATER SAMPLES - VARIOUS	169.50
12824	7/11/2019	SGS Canada Inc.	WATER SAMPLES - VARIOUS	171.76
12825	7/11/2019	SILLS HOME HARDWARE	FHT - BATTERIES/SOFTENER SALT	96.82

12825	7/11/2019	SILLS HOME HARDWARE	VRC - R&M BUILDING	37.30
12825	7/11/2019	SILLS HOME HARDWARE	PW/TH/W/WW - SUPPLIES	351.62
12826	7/11/2019	SJ Fritzley Auto Repair	RDS - R&M L2-19	11.30
12826	7/11/2019	SJ Fritzley Auto Repair	RDS - R&M TRAILER	33.90
12827	7/11/2019	Somers Electric	BMG - R&M BREAKERS -BALL PARK	633.29
12828	7/11/2019	Stonetown Supply Services Inc	VRC - JANITORIAL SUPPLIES	113.99
12828	7/11/2019	Stonetown Supply Services Inc	VRC - JANITORIAL SUPPLIES	123.69
12829	7/11/2019	Cody Subject	BFD - INSTALL WATER HEATER	500.00
12830	7/11/2019	Swan Dust Control Ltd	SDCC - MAT/MOP SERVICE	78.62
12831	7/11/2019	Teeswater Concrete Ltd	PW - CONCRETE BLOCKS - COMPOST	254.25
12832	7/11/2019	Toromont - CAT	RD S- R&M W2-18	486.34
12833	7/11/2019	Total Image II	BIA GIFT CERTIFICATE REDEEMED	75.00
12834	7/11/2019	Tuckersmith Comm Co-Op	TH/SFD/BFD - PHONE/INTERNET	426.63
12835	7/11/2019	Twins Lawn Care Service	RDS - TRIM HEDGE - CHESTNUT/ARENA	310.75
12836	7/11/2019	John Upshall	RDS - R&M G4-94/SWEEPER	836.36
12837	7/11/2019	Van Bakel Electrical & Plumbing	FHT - OFFICE RENO	1,702.71
12837	7/11/2019	Van Bakel Electrical & Plumbing	SLIB - REPLACE BULBS/BALLASTS	288.78
12837	7/11/2019	Van Bakel Electrical & Plumbing	FHT - INSTALL OUTSIDE HYDRANT	219.05
12838	7/11/2019	VWR International Co	W/WW - TESTING	135.60
12839	7/11/2019	DAVID WAGNER	BFD - MEDICAL TRAINING	500.00
12840	7/11/2019	Waste Management	C4TH WASTE REMOVAL - 34.05 TONNES	2,793.63
12841	7/11/2019	WaterART Fitness International	VRC - VELCRO MITTS	190.69
12841	7/11/2019	WaterART Fitness International	VRC - WATER SHOES	84.98
12842	7/11/2019	WHITES WEARPARTS LTD	RDS - PLOW PARTS	2,715.39
12843	7/11/2019	Zelinka Priamo Ltd	TERPSTRA LPAT HEARING PLANNING	1,758.96
12844	7/11/2019	Artech Signs & Graphics	BRUSSELS PUC TRUST SIGN DEPOSIT	17,757.95
Total Cheques for Approval				\$ 2,200,961.39

DIRECT DEBIT	6/19/2019	The Beer Store	BEER SUPPLIES - BMG	5,257.89
DIRECT DEBIT	6/3/2019	Bell Canada	PHONE - SEAFORTH OPP	114.22
DIRECT DEBIT	6/3/2019	Bell Canada	FAX - SDCC	41.84
DIRECT DEBIT	6/7/2019	Bell Canada	PHONE - MCKILLOP SHOP	53.14
DIRECT DEBIT	6/25/2019	Bell Canada	PHONE - GREY SHED	80.86
DIRECT DEBIT	6/25/2019	Bell Canada	PHONE - GREY TOWNSHIP OFFICE	59.79
DIRECT DEBIT	6/3/2019	Bell Canada	PHONE - SCADA	64.80
DIRECT DEBIT	6/3/2019	Bell Canada	PHONE - SFD OFFICE	108.61
DIRECT DEBIT	6/25/2019	Bell Canada	PHONE - BFD	148.96
DIRECT DEBIT	6/25/2019	Bell Canada	PHONE - GFD	121.78
DIRECT DEBIT	6/25/2019	Bell Canada	PHONE - BRUSSELS SHED	73.35
DIRECT DEBIT	6/25/2019	Bell Canada	PHONE - BRUSELS OPP	67.64
DIRECT DEBIT	6/3/2019	Bell Canada	PHONE - SDCC	54.86
DIRECT DEBIT	6/20/2019	Municipality Of Central Huron	VANASTRA WATER	8,198.40
DIRECT DEBIT	6/17/2019	De Lage Landen Financial Serv	VRC - COPIER CONTRACT	319.64
DIRECT DEBIT	6/3/2019	Eastlink	CABLE.INTERNET/PHONE - VRC/TDN	158.21
DIRECT DEBIT	6/24/2019	Eastlink	PHONE - TDN	32.10
DIRECT DEBIT	6/10/2019	Edward Fuels	FUEL - SFD	388.44
DIRECT DEBIT	6/10/2019	Edward Fuels	FUEL - PW	146.22
DIRECT DEBIT	6/20/2019	Festival Hydro	HYDRO - BMG	2,857.37
DIRECT DEBIT	6/20/2019	Festival Hydro	HYDRO - BFD	125.05
DIRECT DEBIT	6/20/2019	Festival Hydro	HYDRO - 240 TURNBERRY	183.68

DIRECT DEBIT	6/20/2019 Festival Hydro	HYDRO - SENTINAL LIGHTS	22.20
DIRECT DEBIT	6/20/2019 Festival Hydro	HYDRO - BRUSSELS OPTIMIST PARK	42.46
DIRECT DEBIT	6/20/2019 Festival Hydro	HYDRO - 35 WELSH ST GRID	36.07
DIRECT DEBIT	6/20/2019 Festival Hydro	HYDRO - 35 OAK ST	34.66
DIRECT DEBIT	6/20/2019 Festival Hydro	HYDRO - FHT	1,030.27
DIRECT DEBIT	6/20/2019 Festival Hydro	HYDRO - TUCKERSMITH STREETLIGH	13.27
DIRECT DEBIT	6/20/2019 Festival Hydro	HYDRO - BRUSSELS STREETLIGHTS	609.71
DIRECT DEBIT	6/20/2019 Festival Hydro	HYDRO - TH REAR	72.80
DIRECT DEBIT	6/20/2019 Festival Hydro	HYDRO - 31 OAK ST	2,357.71
DIRECT DEBIT	6/20/2019 Festival Hydro	HYDRO - 40 WELSH	2,535.12
DIRECT DEBIT	6/20/2019 Festival Hydro	HYDRO - SEAFORTH WATER TOWER	317.33
DIRECT DEBIT	6/20/2019 Festival Hydro	HYDRO - SDCC	2,773.97
DIRECT DEBIT	6/20/2019 Festival Hydro	HYDRO - TENNIS COURT	38.92
DIRECT DEBIT	6/20/2019 Festival Hydro	HYDRO - BANDSHELL	34.66
DIRECT DEBIT	6/20/2019 Festival Hydro	HYDRO - BBCC GRID ACCOUNT	34.66
DIRECT DEBIT	6/20/2019 Festival Hydro	HYDRO - SEAFORTH STREETLIGHTS	1,293.94
DIRECT DEBIT	6/20/2019 Festival Hydro	HYDRO - TH	548.87
DIRECT DEBIT	6/20/2019 Festival Hydro	HYDRO - BRUSSELS STP	2,689.94
DIRECT DEBIT	6/20/2019 Festival Hydro	HYDRO - BRUSSELS PUMP STATION	557.01
DIRECT DEBIT	6/20/2019 Festival Hydro	HYDRO - 30 WELSH ST	541.59
DIRECT DEBIT	6/20/2019 Festival Hydro	HYDRO - 66 CHURCH ST WELL	2,039.83
DIRECT DEBIT	6/20/2019 Festival Hydro	HYDRO - 240 TURNBERRY ST	199.02
DIRECT DEBIT	6/20/2019 Festival Hydro	HYDRO - BLIB	132.21
DIRECT DEBIT	6/20/2019 Festival Hydro	HYDRO - BMD	367.02
DIRECT DEBIT	6/20/2019 Festival Hydro	HYDRO -SFD	157.26
DIRECT DEBIT	6/20/2019 Festival Hydro	HYDRO - SLIB	301.78
DIRECT DEBIT	6/20/2019 Festival Hydro	HYDRO - SEAFORTH OPP	154.32
DIRECT DEBIT	6/20/2019 Festival Hydro	HYDRO - BRUSSELS WTP HEAT CABLE	35.73
DIRECT DEBIT	6/17/2019 Great-West Life Assurance Co	SFD - INSURANCE	272.40
DIRECT DEBIT	6/20/2019 Hensall District Co-op	FUEL - VARIOUS	18,615.12
DIRECT DEBIT	6/25/2019 Hydro One	HYDRO - BCEM	38.23
DIRECT DEBIT	6/24/2019 Hydro One	HYDRO - STREETLIGHTS	22.52
DIRECT DEBIT	6/10/2019 Hydro One	HYDRO - STREETLIGHT	509.67
DIRECT DEBIT	6/24/2019 Hydro One	HYDRO - STREETLIGHTS	427.37
DIRECT DEBIT	6/24/2019 Hydro One	HYDRO - STREETLIGHT	302.94
DIRECT DEBIT	6/3/2019 Hydro One	HYDRO - VANASTRA STP	2,030.91
DIRECT DEBIT	6/24/2019 Hydro One	HYDRO - VRC	1,563.06
DIRECT DEBIT	6/24/2019 Hydro One	HYDRO - VRC BALL PARK	30.91
DIRECT DEBIT	6/24/2019 Hydro One	HYDRO - VRC FOOD BOOTH	31.20
DIRECT DEBIT	6/3/2019 Hydro One	HYDRO - VRC MICROFIT GENERATOR	6.10
DIRECT DEBIT	6/24/2019 Hydro One	HYDRO - BRUCEFIELD WTP	561.02
DIRECT DEBIT	6/12/2019 Hydro One	HYDRO -SEAFORTH STP	5,671.31
DIRECT DEBIT	6/26/2019 Hydro One	HYDRO - GFD	74.21
DIRECT DEBIT	6/3/2019 Hydro One	HYDRO - GREY GARAGE	279.96
DIRECT DEBIT	6/24/2019 Hydro One	HYDRO - TUCKERSMITH SHED	274.53
DIRECT DEBIT	6/17/2019 Hydro One	HYDRO - MCKILLOP SHED	283.26
DIRECT DEBIT	6/17/2019 Hydro One	HYDRO - MCKILLOP OFFICE	383.55
DIRECT DEBIT	6/24/2019 Hydro One	HYDRO - VANASTRA WATER	1,295.66
DIRECT DEBIT	6/27/2019 Municipality of Morris-Turnberry	QUARTERLY TAXES	40.00
DIRECT DEBIT	6/20/2019 Telizon Inc	LONG DISTANCE CHARGES VARIOUS	8.87
DIRECT DEBIT	6/24/2019 Tuckersmith Comm Co-Op	INTERNET - SDCC	155.94

DIRECT DEBIT	6/24/2019 Tuckersmith Comm Co-Op	INTERNET - BRUSSELS OPP	73.45
DIRECT DEBIT	6/24/2019 Tuckersmith Comm Co-Op	INTERNET/PHONE - TUCK/GREY	109.70
DIRECT DEBIT	6/24/2019 Tuckersmith Comm Co-Op	PHONE-C4TH/BRUCEFIELD/WELSH	310.75
DIRECT DEBIT	6/24/2019 Tuckersmith Comm Co-Op	PHONE/INTERNET - BMG	106.98
DIRECT DEBIT	6/4/2019 Union Gas	HEAT - BMG	486.97
DIRECT DEBIT	6/4/2019 Union Gas	HEAT - SDCC	1,013.57
DIRECT DEBIT	6/12/2019 Union Gas	HEAT - VRC	1,473.19
DIRECT DEBIT	6/4/2019 Union Gas	HEAT - BMG POOL	23.73
DIRECT DEBIT	6/4/2019 Union Gas	HEAT - BMD	49.58
DIRECT DEBIT	6/19/2019 Union Gas	HEAT - TUCKERSMITH SHED	53.82
DIRECT DEBIT	6/4/2019 Union Gas	HEAT - BRUSSELS SHED	50.98
DIRECT DEBIT	6/4/2019 Union Gas	HEAT - FHT	334.91
DIRECT DEBIT	6/19/2019 Union Gas	HEAT - SFD	270.18
DIRECT DEBIT	6/19/2019 Union Gas	HEAT - SLIB	66.94
DIRECT DEBIT	6/19/2019 Union Gas	HEAT - TH	120.22
DIRECT DEBIT	6/4/2019 Union Gas	HEAT - BLIB	144.76
DIRECT DEBIT	6/4/2019 Union Gas	HEAT - SEAFORTH WTP	24.44
DIRECT DEBIT	6/4/2019 Union Gas	HEAT - BFD	104.59
DIRECT DEBIT	6/21/2019 Waste Management	WASTERMVL-C4TH/BRUSS/TUCK/VAN	27,302.94
DIRECT DEBIT	6/21/2019 Waste Management	WASTE REMOVAL - TUCKERSMITH SH	842.77
DIRECT DEBIT	6/21/2019 Waste Management	WASTE REMOVAL - SDCC	1,296.48
DIRECT DEBIT	6/21/2019 Waste Management	WASTE REMOVAL - BMG	574.47
DIRECT DEBIT	6/5/2019 Kincardine Cable	INTERNET - GFD	41.75
DIRECT DEBIT	7/2/2019 CIBC Visa	BMG - MEETING EXPENSE	59.11
DIRECT DEBIT	7/2/2019 CIBC Visa	BMG - R&M BUILDING - FIELDS	118.65
DIRECT DEBIT	7/2/2019 CIBC Visa	SDCC - HALL SUPPLIES	15.76
DIRECT DEBIT	7/2/2019 CIBC Visa	SDCC - CANADIAN FLAG	22.59
DIRECT DEBIT	7/2/2019 CIBC Visa	PW - MEETING EXPENSE	133.80
DIRECT DEBIT	7/2/2019 CIBC Visa	ST. LOUIS FLAGS	572.62
DIRECT DEBIT	7/2/2019 CIBC Visa	EMPLOYEE COMPUTER PURCHASE	494.94
DIRECT DEBIT	7/2/2019 CIBC Visa	EMPLOYEE COMPUTER PURCHASE	1,411.37
DIRECT DEBIT	7/2/2019 CIBC Visa	ADMIN - CONFERENCE	236.17
DIRECT DEBIT	7/2/2019 CIBC Visa	BMG - R&M BULIDING	84.74
DIRECT DEBIT	7/2/2019 CIBC Visa	OSG 2019 GREEN BOOKS	590.82
DIRECT DEBIT	7/2/2019 CIBC Visa	SDCC - LIQUOR	384.60
DIRECT DEBIT	7/2/2019 CIBC Visa	SDCC - LIQUOR	253.32
DIRECT DEBIT	7/2/2019 CIBC Visa	BMG - LIQUOR	4,056.52
DIRECT DEBIT	7/2/2019 CIBC Visa	LCBO - LIQUOR	136.50
DIRECT DEBIT	7/2/2019 CIBC Visa	SDCC - PAINT	88.12
DIRECT DEBIT	7/2/2019 CIBC Visa	SDCC - LIQUOR	114.12
DIRECT DEBIT	7/2/2019 CIBC Visa	PSD 2019 EASTERN CAN GROUP	1,005.70
DIRECT DEBIT	7/2/2019 CIBC Visa	EDO - WEBSITE DESIGN	25.00
DIRECT DEBIT	7/2/2019 CIBC Visa	OBO REGISTRATION 1-92053383	109.00
DIRECT DEBIT	7/2/2019 CIBC Visa	BMG - LIQUOR	56.16
DIRECT DEBIT	7/2/2019 CIBC Visa	W/WW - TRAILER	5,308.98
DIRECT DEBIT	7/2/2019 CIBC Visa	PW - SECURITY CAMERAS	56.98
DIRECT DEBIT	7/2/2019 CIBC Visa	SDCC - R&M EQUIPMENT	17.28
DIRECT DEBIT	7/2/2019 CIBC Visa	W/WW - ONSTAR PLAN	39.55
DIRECT DEBIT	7/2/2019 CIBC Visa	BMG - POOL SUPPLIES	67.65
DIRECT DEBIT	7/2/2019 CIBC Visa	W/WW - TRAILER HITCH	480.68
DIRECT DEBIT	7/2/2019 CIBC Visa	BMG - LIQUOR	122.20

DIRECT DEBIT	7/2/2019 CIBC Visa	BMG - HALL SUPPLIES	15.00
DIRECT DEBIT	7/2/2019 CIBC Visa	SDCC - R&M BUILDING	214.89
DIRECT DEBIT	7/2/2019 CIBC Visa	SDCC - HALL SUPPLIES	20.85
DIRECT DEBIT	7/2/2019 CIBC Visa	SDCC - LIQUOR	214.75
DIRECT DEBIT	7/2/2019 CIBC Visa	SDCC - KITCHEN SUPPLIES	53.48
Total Direct Debits for Approval			\$ 121,966.99

EFT000000001716	7/17/2019 Lissa Berard	VRC - PROGRAM SUPPLIES	225.93
EFT000000001717	7/17/2019 Julie Consitt	TDN - GROCERIES	46.74
EFT000000001718	7/17/2019 Abi Corbett	BMG - HALL SUPPLIES/MILEAGE	104.56
EFT000000001719	7/17/2019 Irene Deer	TDN - CURTAINS	113.11
EFT000000001720	7/17/2019 Brad Dietrich	CBO - MILEAGE JUNE 2019	2,461.48
EFT000000001721	7/17/2019 Jan Hawley	EDO - MILEAGE/EASELS	72.39
EFT000000001722	7/17/2019 John Hill	BLDG/PROP - MILEAGE JUNE 2019	693.42
EFT000000001723	7/17/2019 Brad Knight	ADMIN - MILEAGE/MTG EXPENSES	1,090.03
EFT000000001724	7/17/2019 John Lowe	ADMIN - GC N MICHIE RETIREMENT	50.00
EFT000000001725	7/17/2019 Max McLellan	BFD - MEALS FOR TRAINING DAYS	139.27
EFT000000001726	7/17/2019 Helen McNaughton	TH - CLEANING JUNE 2019	891.02
EFT000000001727	7/17/2019 Dave Meriam	SDCC - TRAINING	204.87
EFT000000001728	7/17/2019 ROBERT C KELLINGTON	BMD - CLEANING JUNE/JULY	449.00
EFT000000001729	7/17/2019 Robert Trick	ANIMAL CONTROL - MARCH-MAY2019	3,329.58
EFT000000001730	7/17/2019 Nancy Whidden	TDN - GROCERIES	25.28
Total EFT's for Approval			\$ 9,896.68

Total Payroll-Pay Period 13 & 14 - Full-time, Part-time, Monthly \$ 162,271.73

TOTAL FOR APPROVAL BY COUNCIL \$ 2,495,096.79

Mayor, Bernie MacLellan

Treasurer, Paula Michiels

HURON EAST PUBLIC WORKS

TO: Mayor and Members of Council
FROM: Barry Mills, Public Works Manager
DATE: July 11th, 2019
SUBJECT: **Snow Plowing Contracts -Tender HE-10-2019 – Plowing with a Grader**
- Tender HE-11-2019 – Plowing with a Truck

RECOMMENDATION:

That the Council of the Municipality of Huron East accept tender **HE-10-2019 of VanDriel Excavating Inc.** for **Snow Removal with a Grader** for a 3 year term at an hourly rate of **\$135.00** for the winter season 2019-2020; **\$145** for the winter season 2020-2021; **\$155** for the winter season 2021-2022, with a minimum of 200 hours charged per season; standby pay of \$75/day; and a fuel pricing formula based on the London Unbranded Rack Price on the 1st of the month for Ultra Low Sulphur Diesel Rack Price.

That the Council of the Municipality of Huron East accept tender **HE-11-2019 of VanDriel Excavating Inc.** for **Snow Removal with a Truck** for a 3 year term at an hourly rate of **\$165.00** for the winter season 2019-2020; **\$175** for the winter season 2020-2021; **\$185** for the winter season 2021-2022, with a minimum of 200 hours charged per season; standby pay of \$75/day; and a fuel pricing formula based on the London Unbranded Rack Price on the 1st of the month for Ultra Low Sulphur Diesel Rack Price.

BACKGROUND:

Huron East called for tenders for Snow Removal with a Grader and a Truck; the current contracts were up for renewal. One tender was received for each contract, prior to July 10th, 2019 at 12:00 Noon and opened in the presence of Councillor Joe Steffler, Finance Manager-Treasurer/Deputy Clerk Paula Michiels and Public Works Manager Barry Mills. The results are as follows:

<u>Contractor</u>	<u>HE-10-2019 Grader</u>	<u>Hourly Rate 2019 - 2022</u>
Van Driel Excavating Inc.	2000 Champion 740A 210 hp	\$135.00 \$145.00 \$155.00
<u>Contractor</u>	<u>HE-11-2019 Truck</u>	<u>Hourly Rate 2019 - 2022</u>
Van Driel Excavating Inc.	2004 Volvo VHD 365 hp	\$165.00 \$175.00 \$185.00

The VanDriel tender also made a condition of a minimum 200 hours per season. Past season averages were between 220 and 260 hrs.

PREVIOUS YEARS:

2018 - 2019 Grader Hourly Rate \$99.75 Truck Hourly Rate \$106.50

The total Truck Grader hours for the 2018-19 season were 480 hours with 244 days of standby at \$75 for a total of \$18,300 for a season total of \$67,685.40. The new contract, using the 2018-19 total will increase approximately 24,304.16 or 36%.

COMMENTS:

The increases in the snowplowing contracts are 35% for the grader and 65% for the truck per hour with standby remaining the same at \$75 per day. The costs are increasing due to the service required and the availability of contractors to do the work. Huron County called for tenders for snow removal and did not receive a single tender. As a result, they have purchased a new piece of equipment for snow removal.

Our current contractors have discussed with us the increasing insurance premiums they must pay and the difficulty of finding insurance companies to underwrite policies. I have contacted our insurance carrier to review possible options that may be extended to our contractors that would make finding or providing insurance affordable. Unfortunately they don't underwrite this type of insurance, however, they are now aware of the issue and are going to review it as it may affect their other clients in the future. We are still in discussions with our provider.


We can expect additional budget strain in future. In order to attract more contractors, Huron East may wish to consider raising the Standby Rate for the next tenders which will be in 2020 or 2022 based on renewal options being accepted.

OTHERS CONSULTED:

Brad Knight, CAO/Clerk
Paula Michiels, Finance Manager-Treasurer/Deputy Clerk

BUDGET IMPACTS:


The amount to be included in the proposed 2020 budget.
The increase will only affect our projected costs in 2019 for November and December plowing.



Barry Mills
Public Works Manager



Brad Knight
CAO/Clerk



Paula Michiels
Finance Manager-Treasurer

**HURON EAST
ADMINISTRATION**

TO: Mayor MacLellan and Members of Council
FROM: Brad Knight, CAO/Clerk
DATE: July 8th, 2019
SUBJECT: Elizabeth Street Municipal Parking Lot

RECOMMENDATION:

(1) That Council defeat the tabled motion from July 2nd, 2019:

That Council note and file the request for changes to the parking regulations on Turnberry Street (Brussels) and the Public Works Coordinator be authorized to pave/mark the Richmond Square and Elizabeth Street parking lots.

(2) That Council consider the following motion:

That Council note and file the request for changes to the parking regulations on Turnberry Street (Brussels) and the Public Works Coordinator be authorized to pave/mark the Elizabeth Street parking lot if the Four Winds parking lot is being paved.

BACKGROUND:

At the last Council meeting, Council questioned if the Elizabeth Street parking lot should be paved or if Council should consider declaring it surplus and sell the property.

Staff had recommended that at the time the Four Winds parking lot is paved that our municipal parking lot should be paved/marked and this would help to alleviate some of the parking issues at the Four Winds facility.

Several members of Council suggested that staff should approach the owner of the Four Winds to determine if he was interested in the property.

Attached is an air photo of the property along with the assessment map of the area. Council should note the following:

1. There are 3 owners that abut the property:
 - i) 18-25 (Barbara & Lloyd Holdings Inc.)
 - ii) 18-23 (1362876 Ont. Inc. – Linda Kenny)
 - iii) 18-6 (Baag Airtight Storage)
2. The Kenny property has access to the rear of their property via a right-of-way across the municipal parking lot.
3. That in addition to the right-of-way access to the property, there is also a sanitary sewer easement that runs across the property.

Given the various complicating factors involved with the property, staff are continuing to recommend that it be paved at the same time the Four Winds property is paved and the Municipality retain ownership. Retaining ownership gives the Municipality options with respect to protecting public parking interests in the area.

The area in question is 67' x 82.5' and the Public Works Coordinator has a quote of \$12,903 for the paving plus any site preparation which would be done in-house. The investment to enhance the public parking area to help address event parking at the Four Winds is relatively insignificant when compared to the overall investment in the area.

It should be noted that the owner of the Four Winds is indicating that he is preparing to pave part of his site in accordance with his site plan and the pricing that we have obtained is based on doing our lot at the same time. Council expressed concern with the costs to repave the two Brussels parking lots and it was suggested to perhaps improve the signage. Perhaps a compromise would be:

- i) authorizing the paving of the Elizabeth Street property conditional on the paving of the Four Winds site
- ii) defer the repaving of the Richmond Square lot indefinitely but enhance the signage.

If the above noted compromise is acceptable, Council should consider defeating the tabled motion and consider a new motion.

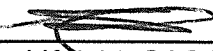
OTHERS CONSULTED:

Barry Mills, Public Works Coordinator

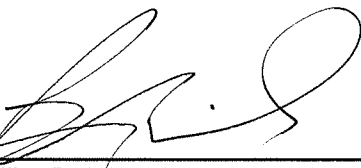
BUDGET IMPACTS:

The paving of the Brussels parking lots was not specifically identified in the 2019 budget. However, there is a budget allowance of \$30,000 for pavement maintenance and it is proposed to fund this project from this account.

SIGNATURE:



 Brad Knight, CAO/Clerk



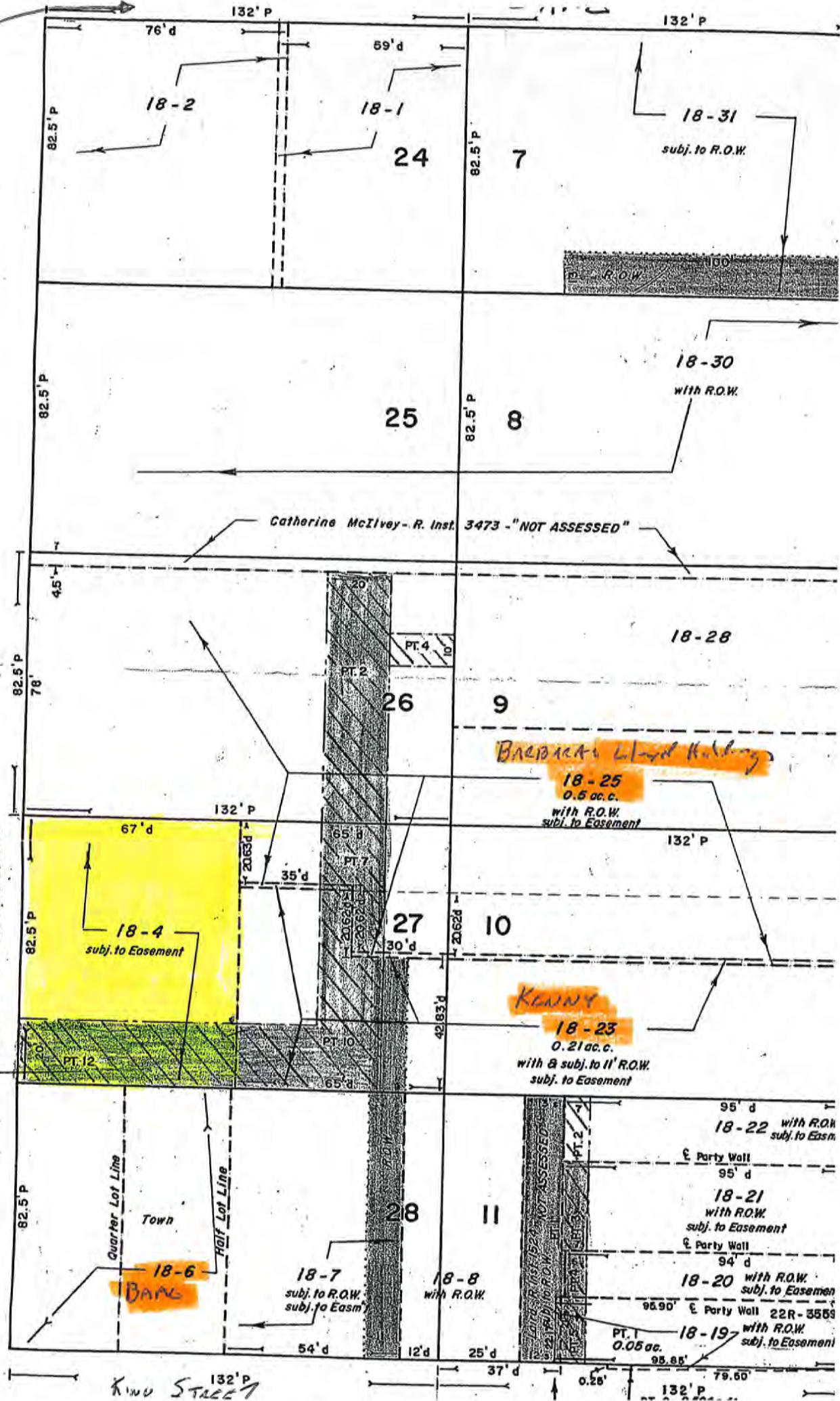
 Barry Mills, Public Works Coordinator



ELIZABETH STREET

Hatched areas indicate sewer easements
 Shaded areas indicate R.O.W.
 See 22R-864 for Part details

16
ET



Elizabeth Street Parking Lot



Godenich

Legend

- Parcel Fabric - Secure
- Municipal Boundary
- County Boundary
- Citations

1:564



28.7 0 14.33 28.7 Meters

WGS_1984_Web_Mercator_Auxiliary_Sphere
© 2017 County of Huron

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.
THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes

Brad Knight

From: Ron Lavoie <ron.lavoie@hpha.ca>
Sent: Wednesday, June 26, 2019 2:48 PM
To: Brad Knight
Subject: Request to Huron East Council - Hang road banner for Seaforth Hospital Radiothon October

Hello Brad,

Will this email be sufficient to submit a request to council to hang the road banner across hwy8 in support of the Seaforth Hospital CKNX Healthcare Heroes Radiothon during the month of October.

The event will be broadcast on CKNX Oct 19th.

I look forward to their favourable response and support.

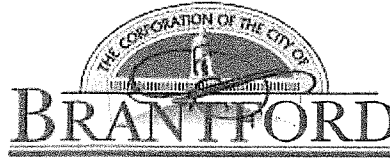
Thank you

Regards ron lavoie

Sent from my BlackBerry 10 smartphone on the Bell network.

CONFIDENTIAL NOTICE: This email message, including any attachments, is intended only for the use of the intended recipient(s) and may contain information that is privileged, confidential, and prohibited from unauthorized disclosure applicable law. If you are not the intended recipient of this message, any dissemination, distribution, or copying of this message is strictly prohibited. If you received this message in error, please notify the sender by reply email and destroy all copies of the original message.

Sent and received emails are records within the custody and control of the hospital and therefore subject to public right of access as per the Freedom of Information and Protection of Privacy Act.



July 3, 2019

The Honourable Doug Ford, Premier of Ontario
Legislative Building
Queen's Park
Toronto ON M7A 1A1

Dear Premier:

Please be advised that Brantford City Council at its meeting held June 25, 2019 adopted the following:

Endorsement of LUMCO Resolution regarding Retail Cannabis Stores

- A. THAT the Association of Municipalities of Ontario (AMO) and the Premier of Ontario be advised that Brantford City Council ENDORSES the following Resolution adopted by LUMCO (Large Urban Mayors Caucus of Ontario) at its May 24, 2019 Meeting:

WHEREAS in April 2017, the Federal Government introduced Bill C-45, The Cannabis Act, and Bill C-46, An Act to Amend the Criminal Code, outlining plans to legalize, regulate and restrict access to cannabis in Canada; and

WHEREAS the Province of Ontario responded with corresponding legislation, the Cannabis Control Act, 2017, the Ontario Cannabis Retail Corporation Act, 2017, the Cannabis License Act, 2018, and Bill 36- Cannabis Statute Law Amendment Act, 2018; and

WHEREAS collectively, this legislation created a regulatory regime effective October 17, 2018 that allows Ontario residents who are 19 years of age or older to: 1. Purchase recreational cannabis online through the Ontario Cannabis Store 2. Possess up to 30 grams of cannabis 3. Grow up to four (4) cannabis plants per household 4. Purchase cannabis from a provincially approved private retail supplier as of April 1, 2019; and

WHEREAS municipalities across Ontario were given until January 22, 2019 to choose if retail cannabis stores will be prohibited within their borders and those that "opted out" may at a later date by resolution of their respective Council, lift the prohibition and permit them in the future; and

WHEREAS Ontario Regulation 468/18 permits limited municipal regulatory control over location and zoning, licensing and spatial separation to sensitive land uses other than a school as defined by the Education Act;

NOW THEREFORE BE IT RESOLVED THAT the Large Urban Mayors Caucus of Ontario (LUMCO) recommends that additional local regulatory controls be approved by the Province of Ontario around retail cannabis stores that would: A. Provide a municipality with the unrestricted ability to control the location of retail cannabis stores through zoning; and, B. In the alternative to A; 1) Limit the concentration and number of cannabis retail stores in any one municipality by introducing a minimum distance separation measure between retail stores (minimum 500 metres); and, 2) That cannabis stores be restricted to a Commercial Zone or Area which permits retail stores; and 3) Clearly defining sensitive land uses, in addition to schools, which would be impacted by having a retail cannabis store located adjacent to them. Such other sensitive land uses would include, but not be limited to, day cares, colleges and universities, community centres, nursing homes, libraries and actively programmed municipal parks; and, 4) That the current minimum distance separation of 150 meters from a cannabis retail store to a school be increased to a minimum of 500 metres from any sensitive land use to be defined as noted in paragraph 3 above; and C. That all municipalities that have approved retail cannabis stores to be located in their jurisdictions receive 50% of ALL excise tax collected by the Province of Ontario on the sale of cannabis; not limited to revenues in excess of \$100 million; and

THAT upon adoption of this Resolution by LUMCO, it be presented to all Ontario Municipal Councils with a request to endorse and that the municipally adopted resolutions then be forwarded to the Association of Municipalities of Ontario (AMO) and the Premier of Ontario's office;

Further, THAT members of the LUMCO Retail Cannabis Committee request a meeting with Minister Doug Downey regarding this resolution and to also request the AMO Board add this topic as an agenda item for discussion at the August 2019 AMO Annual Conference.

- B. THAT a copy of this Resolution BE FORWARDED to the MP and MPP Brantford-Brant, the Federation of Canadian Municipalities (FCM) and other municipalities in the Province of Ontario.

Your attention with regard to this important matter is most appreciated.

Yours truly,

A handwritten signature in black ink, appearing to read "Touzel". The signature is fluid and cursive, with the first letter being a large, stylized capital 'T'.

Charlene Touzel
City Clerk

cc Association of Municipalities of Ontario
Phil McColeman, MP, Brantford-Brant
Will Bouma, MPP, Brantford-Brant
Federation of Canadian Municipalities
Other Municipalities in the Province of Ontario



P.O. Box 827, Seaforth, ON N0K 1W0

Phone: 519.670.1940

Email: admin@tannerstefflerfoundation.com

Website: www.tannerstefflerfoundation.com

May.24,2019

COPY

Municipality of Huron East
72 Main Street South
Seaforth, ON N0K 1W0

Attn: Mr. Brad Knight-CAO/Clerk-Administrator

I am sure you and council are aware that there is an event being held at the Seaforth Ag Plex on July.27,2019 hosted by the Tanner Steffler Foundation between the hours of 3:00pm to 1:00am to raise the awareness of Mental Health in Huron County. The event being held on July.27,2019 is a fund raiser for the Foundation's initiatives.

As I am sure you can appreciate an event of this magnitude requires a great deal of preparation and the Fundraising Committee for the foundation is diligently working hard to ensure the Event is a success for the Foundation.

This event will draw a number of people from all parts of the County and abroad and it is expected there will be an attendance of 800 plus people or more who will attend this event for various reasons.

As part of the Special Occasions permit requirements for a Public Event as ,an organization we require the endorsement of Huron East Council to proceed with the application for the Special Occasions Permit. The requirements indicated the event has to be designated by Huron East council as an event of significant, Indicating Huron East will benefit in a number avenues along with Community support for this event.

In closing we would ask the Council of Huron East consider providing a letter of designation endorsing the event to be of signficance for the municipality of Huron East for The Tanner Steffler Foundation. If you need to get in touch with the writer, please don't hesitate to call me at 519-272-3647.

Yours truly,

Kevin Varley
Fundraising Committee
Kjvarley67@gmail.com

11-15-1



PLANNING & DEVELOPMENT

57 Napier Street, Goderich, Ontario N7A 1W2 CANADA
Phone: 519.524.8394 Ext. 3 Fax: 519.524.5677 Toll Free: 1.888.524.8394 Ext. 3
www.huroncounty.ca

NOTICE OF AN APPLICATION FOR CONSENT FOR SEVERANCE

DATE: July 8, 2019 File # C51-2019

TO:

- Owner: Steven Matthew Haney Applicant: John McKercher
- Brad Knight, CAO/Clerk - Municipality of Huron East
- Cathy Garrick, Planning Coordinator - Municipality of Huron East
- Huron County Health Unit
- Denise Van Amersfoort, Senior Planner, Huron County Planning Department

Enclosed is a copy of an application for Consent for your review and comments to the Huron County Planning & Development Department.

LOCATION OF PROPERTY

Municipality: Huron East	Part Lot 28 and Part Lot 29, Concession 9, McKillop Ward
Address: 42562 Winthrop Road	
Owner: Steven Matthew Haney	Applicant: John McKercher

PURPOSE AND EFFECT

The purpose and effect of this application is for the creation of a new lot under the surplus farm residence policies. The proposed land to be severed is approximately 0.45 ha (1.11 acres) consisting a house and garage. The land to be retained is approximately 40 ha (98.84 acres) consisting of agricultural lands.

LAST DAY FOR RECEIVING COMMENTS

We would appreciate your comments by **July 22, 2019** as to whether or not your department or agency has any comments to this severance and whether or not any conditions should be imposed. All comments should be addressed to the Attention of Lisa Finch, Land Division Administrator at the following by e-mail address lfinch@huroncounty.ca or by regular mail to the address above and to the Attention of Lisa Finch, Land Division Administrator. We will assume you have no objections to the application if no comments are received by the time specified. If this does not provide you with sufficient opportunity to consider the application, please advise.

DECISION AND APPEAL

If you wish to be notified of the decision in respect to the proposed consent, you must make a written request to the Huron County Planning & Development Department c/o Ms. Lisa Finch, Land Division Administrator, Huron County Consent Granting Authority at 57 Napier Street, 2nd Floor, Goderich, Ontario, N7A 1W2.

"Planning with the community for a healthy, viable and sustainable future."



RECEIVED
JUL 04 2019
APPLICATION FOR CONSENT PLANNING



For office use only
File # C 51119
Received JULY 4 2019
Considered Complete JULY 8 2019

1. PRE-SUBMISSION CONSULTATION

Applicants are strongly encouraged to contact the County and speak/meet with the Planner assigned to the Municipality before submitting an application..

Date of Applicant's consultation meeting with County Planner assigned to Municipality: June 3, 2019

2. APPLICATION INFORMATION

Name of Applicant <u>John McKercher</u>	Name of Owner <u>Steven Matthew Haney</u>
Contact Information Address: <u>77 Main Street South PO Box 220</u> Town: <u>Seaforth</u> Postal Code: <u>NOK 1W0</u> Home Phone: _____ Cell: _____ Work: <u>519-527-0850 x 223</u> Fax: <u>519-527-2324</u> Email: <u>jmckercher@devereauxmurray.ca</u>	<input type="checkbox"/> Check box if same as Applicant Contact Information Address: <u>43160 Front Road RR4</u> Town: <u>Seaforth</u> Postal Code: <u>NOK 1W0</u> Home Phone: _____ Cell: <u>519-615-2130</u> Work: _____ Fax: _____ Email: <u>stevenhaney2@gmail.com</u>

Solicitor name (if known) John McKercher

Address: 77 Main Street South PO Box 220, Seaforth

Tel: 519-527-0850 x 223 Email: jmckercher@devereauxmurray.ca

Correspondence to be sent to: all parties, or applicant, and/or owner

3. LOCATION OF THE SUBJECT PROPERTY—SEVERED & RETAINED (Complete applicable lines)

Municipality: <u>Huron East</u>	Concession: <u>9</u>
Ward: <u>McKillop</u>	Lot Number(s) <u>Pt Lot 28 & Pt Lot 29</u>
Registered Plan: _____	Lot(s) Block(s): _____
Reference Plan: _____	Part Number(s) _____
Municipal Address (911 number and street/road name): <u>42562 Winthrop Road RR1, Seaforth</u>	Roll # (if available): <u>4040-380-009-03400-0000</u>

APPLICATION FOR CONSENT

- a) Are there any right-of-way easements or restrictive covenants affecting the severed or retained land?
 Yes No
- b) If **Yes**, describe the location of the right-of-way or easement or covenant and its effect:

- c) Is any of the severed or retained land in Wellhead Protection Area A, B or C? Yes No Unknown
If **Yes**, please obtain a Restricted Land Use Permit from the Risk Management Official.
If **Unknown**, please consult with your Municipal Planner and obtain a Restricted Land Use Permit if necessary.
- d) Is the subject property systematically tiled? If **Yes**, please submit tile maps with your application.
 Yes No

4. PURPOSE OF THE APPLICATION

Type of proposed transaction:

Transfer:	Other:
<input checked="" type="checkbox"/> Creation of a new lot	<input type="checkbox"/> Charge
<input type="checkbox"/> Addition to lot	<input type="checkbox"/> Lease
<input type="checkbox"/> An easement	<input type="checkbox"/> Correction of title
<input type="checkbox"/> Other purpose (please specify): _____	

Briefly, describe the proposed transaction:

Severance of a surplus residence.

Name(s) of person(s), if known, to which land or interest in land is to be transferred, leased or charged:

N/A

If a surplus severance, provide legal description and locations of other farm holdings of owner/purchaser:

Lot 20 and Part Lot 19, Concession 10, McKillop, Huron East, County of Huron. 43225 Sawmill Road RR4, Walton, ON.

If creating a lot addition, identify the lands to which parcel will be added.

Municipality: _____	Concession: _____
Ward: _____	Lot Number(s): _____
Registered Plan: _____	Lot(s) Block(s): _____
Reference Plan: _____	Part Number(s): _____
Municipal Address (911 number and street/road name): _____	Roll # (if available): _____

APPLICATION FOR CONSENT

5. DESCRIPTION OF SUBJECT LAND

a) Description land intended to be severed:

Frontage: 48m

Depth: 95m

Area: 4560m²

Existing Use(s): Residential

Proposed Use(s): Residential

Existing Building(s) or Structure(s)

House, garage

b) Type of access:

(Check appropriate box)

existing building(s) or structure(s)

provincial highway

county road

municipal road, maintained all year

municipal road, seasonally maintained

other

c) Type of water supply proposed:

(check appropriate box)

publicly owned and operated piped water system

privately owned and operated individual well

dug

drilled

privately owned and operated communal well

lake or other water body

other means (please specify)

d) Type of sewage disposal proposed:

(check appropriate box)

publicly owned & operated sanitary sewage system

privately owned & operated individual septic tank

privately owned & operated communal septic system

privy

other means (please specify)

a) Description land intended to be retained:

Frontage: 354m

Depth: 1005m

Area: 40 hectares

Existing Use(s): Agricultural

Proposed Use(s): Agricultural

Existing Building(s) or Structure(s)

None

b) Type of access:

(Check appropriate box)

existing building(s) or structure(s)

provincial highway

county road

municipal road, maintained all year

municipal road, seasonally maintained

other

c) Type of water supply proposed:

(check appropriate box)

publicly owned and operated piped water system

privately owned and operated individual well

dug

drilled

privately owned and operated communal well

lake or other water body

other means (please specify)

d) Type of sewage disposal proposed:

(check appropriate box)

publicly owned & operated sanitary sewage system

privately owned & operated individual septic tank

privately owned & operated communal septic system

privy

other means (please specify)

Consent Memorandum

This application is for the severance of a surplus residence.

This application complies with the Municipality of Huron East Official Plan as:

1. The subject residence is surplus to the farming operations of Steven Matthew Haney, the owner of the property, who also owns a farm residence on the property legally described as Lot 20 and Part Lot 19, Concession 10, McKillop, Huron East, County of Huron (PIN 41307 – 0040 (LT)).
2. The residence is greater than 25 years of age built in approximately 1900.
3. The residence is habitable.
4. There have been no prior separations of land for residential purposes from the farm property.
5. The retained lands are greater than 18 hectares.
6. There is no workable land being including within the severed lands and the boundaries of the severed lands are already established by a tree line and existing lawn.
7. All buildings on the property are being included with the severed property.
8. The property shall be rezoned so that the retained lands will be rezoned to prohibit the construction of a new residence.
9. A new entrance to the retained farm lands will be required on the retained lands as set out in the sketch included with this application.



Enter map title here

Godenich



Legend

- Parcel Fabric
- Municipal Boundary
- County Boundary
- Citations

42562
WINTHROP RD

Notes



1: 18,056



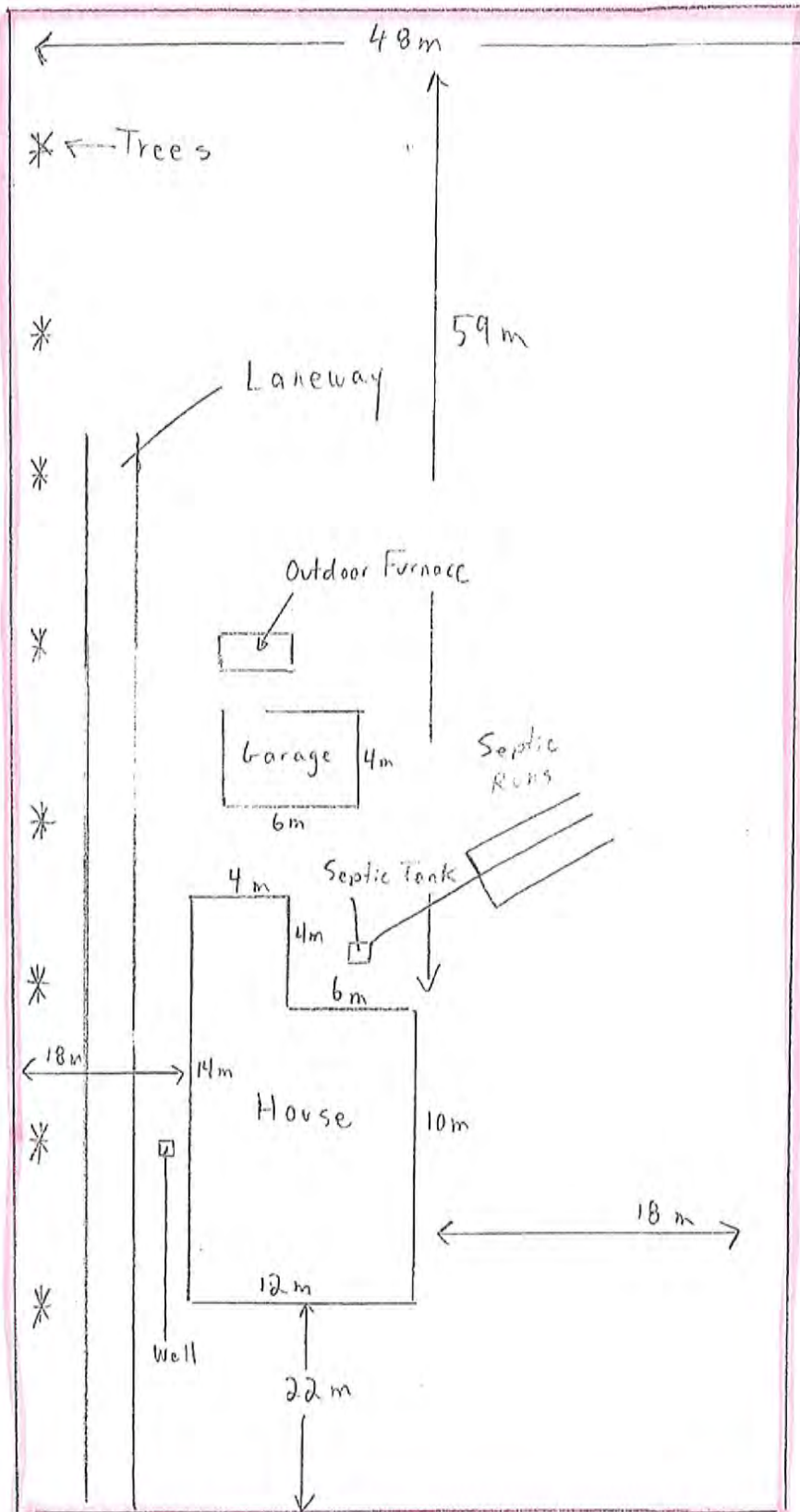
917.2 0 458.62 917.2 Meters

WGS_1984_Web_Mercator_Auxiliary_Sphere
© 2017 County of Huron

This map is a user-generated static output from an Internet Mapping Site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Proposed Severed Parcel

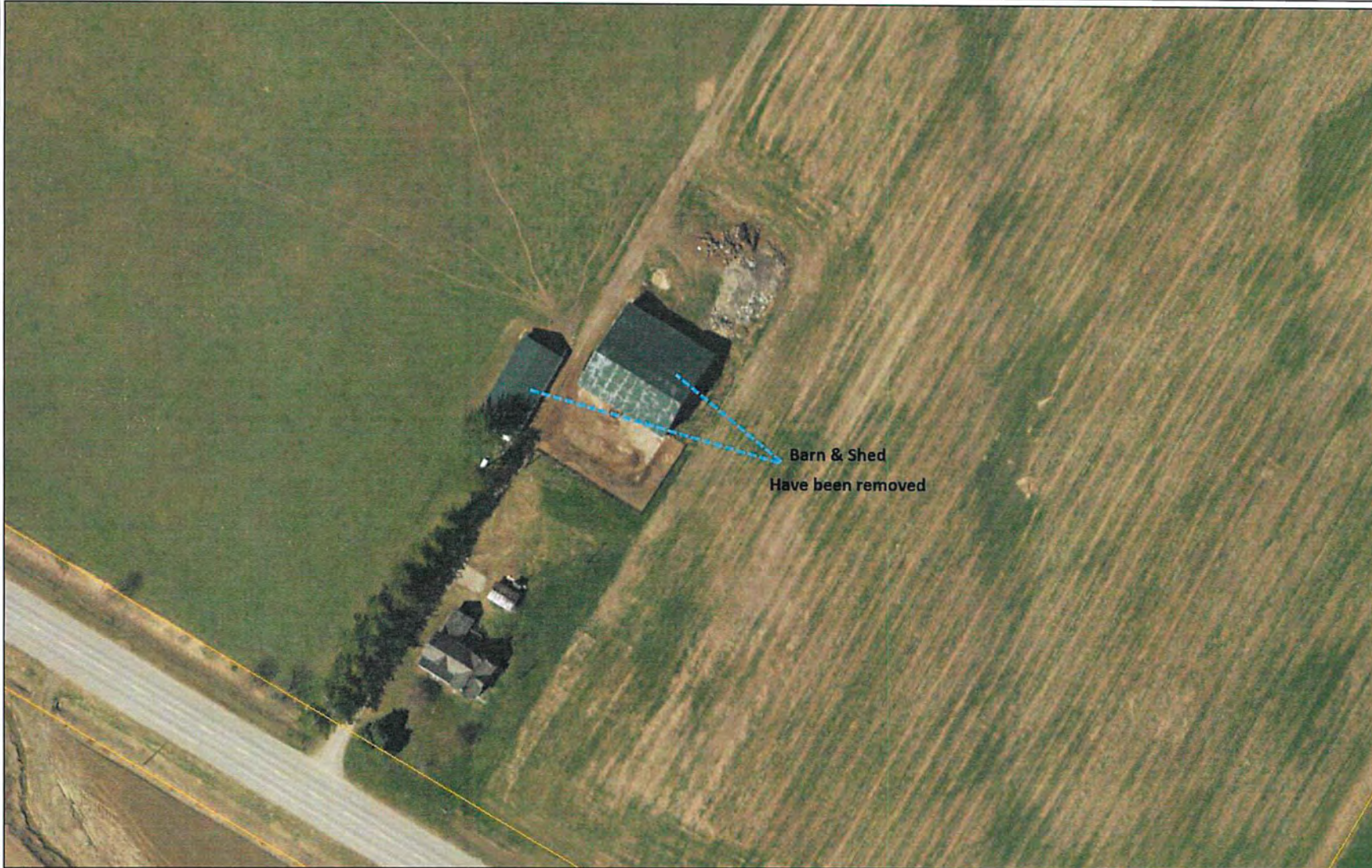


Retained




Retained

New Laneway for Field Access

Winthrop Road



Legend

-  Parcel Fabric
-  Municipal Boundary
-  County Boundary
- Citations

1: 1,128



57.3 0 28.66 57.3 Meters

WGS_1984_Web_Mercator_Auxiliary_Sphere
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Notes

Minutes of the Huron East/Seaforth Community Development Trust Meeting
Thursday, June 6, 2019

7 pm @ Post Office



To use the reserve funds to promote the health, safety, morale, and welfare of the rate payers of the former Town of Seaforth; and to promote Economic Development of the geographic area known as the former Town of Seaforth.

Trust members present: Christie Little, Joe Steffler, Bob Fisher, Neil Tam, Ray Chartrand, Cathy Elliott

Trust members absent: Ellen Whelan

Others present: Property Manager Chance Coombs

1. The meeting was called to order in the boardroom by Chair Christie Little @ 7 p.m.

2. Deputation/Requests/Presentation/Correspondence -

- Thank you and framed photo of participants received from Sam Steep and McKenna McGovern for financial sponsorship at World Mixed Curling.
- Request from Seaforth Agricultural Society for donation to the June 7, 2019 Huron County Progressive Agricultural Safety Day to be held at Seaforth Agriplex. It is geared to 5-12 year olds and focuses on farm safety.

Moved by Joe, seconded by Neil to donate \$300 to the Huron County Progressive Agricultural Safety Day. Carried.

- Bob declared a Conflict of Interest (he's council rep on BIA). Request from Brenda Campbell of Seaforth BIA for \$3000 funding for 2019 Summerfest event. The event has an \$8000 budget. The Trust's past donations to this event:

2015 - \$2500

2016 - \$2500

2017 - \$3000.

Moved by Neil, seconded by Joe to donate \$3000 to 2019 Summerfest event. Carried.

- 3rd floor apartment tenant Debra Anderson gave a report on the conditions in the apartment:
 - bedroom has smell of animal and urine stain on piece of carpeting
 - mold in refrigerator
 - deep fryer containing old oil in kitchen cupboard
 - bloated paint cans in living room cupboard
 - stove and fridge pulled out to reveal dirt, grease, items that had fallen
 - lots of dead flies
 - dirty A/C units in middle room
 - dirty oven and range hood.
 - The screen door's weather stripping is done and the door lock is broken (hook and eye are being used). Window doesn't open properly.Ray questioned animal smell as the lease states No Pets. Neil said that the tenants had a small dog for the latter part of their lease. Neil said that he would remove the paint cans.

3. Additions to Agenda & Approval of Agenda

Moved by Ray, seconded by Joe for approval of agenda. Carried.

4. Disclosure of Trustees' Pecuniary Interest – None

5. Accounts Payable – Financial Reports

- Total of \$6329.16 paid
- GIC is maturing at MCU on June 16, 2019 for \$102,000.

Moved by Bob, seconded by Neil that GIC be renewed for 6 months. Carried.

Moved by Bob, seconded by Neil for approval of Accounts Payable of \$6329.16 and the Financial Reports. Carried.

6. Property Manager's Report – Chance Coombs (see attached)

- Chance received a text from Postmistress wondering when concrete repair will be done. Christie will contact Smith Construction again for this information.

- Chance received an e-mail from Chris @ LHIN about a Health & Safety issue. New GFI's are needed in the kitchen and men's washroom to meet code.
- Bob asked if the leases for the Trust's two properties state what the Trust is responsible for. He felt that except for the walls and roof, the tenant is responsible for everything. Going forward, we need to be more familiar with the terms of the leases when it comes to repairs on the properties.

Moved by Neil, seconded by Ray for approval of Property Manager's report. Carried.

7. Huron East Health Centre Report – None

8. Minutes of May 2, 2019 meeting

Moved by Joe, seconded by Neil for approval of the minutes. Carried.

Business Arising from the Minutes

Property Manager's Liability Insurance

- Christie reported that the paperwork for liability insurance will be coming to Chance for signature this week.

Unfinished Business

Code of Conduct –

- This will be moved to another meeting and kept on the agenda until addressed.

Fire Inspection -

- Cathy reported that Michael Roess, Fire Prevention Officer completed a fire safety inspection on the Post Office and LHIN buildings on June 3, 2019. The reports will be shared when received.
- Innovation Security provides fire security for Post Office. Canada Post has their own fire and security system (ADT). LHIN has CHUBB security system.

Heritage Workshop -

- Cathy gave a debriefing on the workshop
- Ellen sent an e-mail in which she stated that "it really is important that we have someone doing the work on the post office who knows and has done historical

work before. In this case, although getting the work done locally would be nice, the quality and experience are more important for this case”.

Post Office Lawn Care –

- Christie contacted Paul Vandermolen, as he cuts the CIBC lawn. He looked at the lawn and vegetation around Post Office. He provided a quote of \$1250 to cut the grass and cut down the bushes and trees against the building.
- Cathy asked if he would also remove the fence and vegetation against the north side of the building and put in gravel in its place.

New Business – Discussion from Item 2

3rd Floor Apartment

- Discussion about the present condition of the 3rd floor apartment, based on tenant’s comments and Cathy’s observations. Neil felt that the rent reflected the condition. It was decided that the present cleaner, Brenda Wilkinson would be hired to thoroughly clean the apartment when a tenant vacates.
- Cathy will contact Clean Freak to clean the apartment carpet as well as the carpet on the stairs and second floor.
- Cathy will price out a new screen door for the apartment.
- Cathy recommended that based on the time and money the tenant has spent on cleaning the apartment and that she couldn’t move in on May 15, a refund of \$250 would be in order.

Moved by Joe, seconded by Ray to refund \$250 to tenant. Carried.

9. In Camera – (not necessary)

10. Adjournment -

Motion for adjournment at 9:00 pm by Bob.

Next meeting – Thursday July 4, 2019 @ 7:00 pm.

Chair Christie Little _____

13-15-2

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July 4, 2019

AMO Executive Director, Pat Vanini to Retire

It is with mixed feelings that I share with the membership and others, that after 23 years of progressive responsibility within AMO, Pat has decided to retire. We will miss her in many ways and accept her decision.

She arrived at AMO in 1995 on a secondment from the Ministry of Municipal Affairs Provincial Planning Policy Branch to help AMO and its members deal with a new Planning Act. When a new provincial government arrived, ending all secondments, Pat went back to the Ministry. She returned to AMO months later, taking on a senior policy advisor role employed by a one-year contract. It was a big risk but one we are glad she made. It didn't take her long to rise from Senior Policy Advisor to Director of Policy and then be appointed AMO's Executive Director in 2002.

Along that journey she used her municipal work experience (Hastings County) and 18 years of provincial government experience. Pat has had a long, distinguished career at AMO, leading a staff team that creates new services to help municipal capacity and develops sound public policy and advocacy work that support municipal governments. Many municipal officials across the province know her from her facilitation and training work both at the province and then at AMO.

During her time at AMO, Pat experienced change that six different Premiers brought to Queen's Park. That is a lot of Board work and public policy to influence. Consistent through it all is her absolute dedication to municipal governments and their success. While we hate to see one of our passionate champions go, AMO and the members wish her all the best in a well-deserved retirement.

We are engaged in a hiring process to fill the Executive Director position and there will be a smooth transition in leadership early this fall. I look forward to seeing many of our members at the AMO Annual Conference in about a month. That program will be full, exciting and timely. See you in Ottawa!

President Jamie McGarvey

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Association of Municipalities of Ontario
200 University Ave. Suite 801, Toronto ON Canada M5H 3C6

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June 2019 Council Expenses

Date	Meetings	Raymond Chartrand	Brenda Dalton	Dianne Diehl	Bob Fisher	John Lowe	Bernie MacLellan	Larry McGrath	Alvin McLellan	Zoey Onn	Joe Steffler	Gloria Wilbee	Total
May 29	Seaforth Fire Bd Meeting paid with May expenses-not noted on report				72.92								72.92
June 4	Council	150.98	150.98	150.98 35.92	150.98	150.98 24.60		150.98	150.98 34.44	150.98 23.90	150.98	150.98 18.70	1,647.36
June 10	BMG Recreation Committee Bernie- Campaign Coaches Portion					72.92	72.92 35.42		72.92 10.83				265.01
June 10	Vanastra Recreation Committee		72.92 27.56										100.48
June 11	Brussels/HE Development Trust					N/C							0.00
June 12	Seaforth BIA Meeting				72.92								72.92
June 18	Council	150.98	150.98 15.26	150.98 35.92	150.98		150.98 10.82	150.98	150.98 34.44			150.98 18.70	1,322.98
June 20	Seaforth Arena Meeting										72.92	72.92 18.70	164.54
		301.96	417.70	373.80	447.80	248.50	270.14	301.96	454.59	174.88	223.90	430.98	3,646.21

**THE CORPORATION
OF THE
MUNICIPALITY OF HURON EAST
BY-LAW NO. 50 FOR 2019**

**A BY LAW TO AUTHORIZE A SITE PLAN CONTROL AGREEMENT
BETWEEN THE CORPORATION OF THE MUNICIPALITY OF HURON EAST AND
MOLESWORTH FARM SUPPLY LTD.**

WHEREAS the Corporation of the Municipality of Huron East deems it advisable and necessary to enter into a Site Plan Control Agreement with Molesworth Farm Supply Ltd. to recognize an existing commercial feed mill and accessory structures and to permit the expansion of the site with a second feed mill and accessory structures at 44743 Line 86, being Part Lots 53 & 54 Concession 1 Grey as in R26255 except hWP2231 & except Parts 1 & 2 22R4651; part Lots 53 & 54, Concession 1 Grey being part 1 22R3981 & as in R282674 & Part 1, 22R4651 & Part 1, 22R4796 & Parts 1-3, 22R6632, s/t right of way for access purposes Part 1, 22R6666 save and except part 4, 22R6632, Grey Ward, Municipality of Huron East, County of Huron;

AND WHEREAS the proposed development is subject to Site Plan Control pursuant to Section 41 of the Planning Act, RSO 1990, and By-law # 27-2014 of the Corporation of the Municipality of Huron East.

NOW THEREFORE THE MUNICIPAL COUNCIL OF THE CORPORATION OF THE MUNICIPALITY OF HURON EAST ENACTS AS FOLLOWS:

1. That the Mayor and CAO/Clerk be and are hereby authorized and instructed to sign all of the necessary documents to conclude the Site Plan Control Agreement between the Corporation of the Municipality of Huron East and Molesworth Farm Supply Ltd.

READ A FIRST, SECOND AND THIRD TIME AND FINALLY PASSED THIS 16TH DAY OF JULY, 2019.

Bernie MacLellan, Mayor

Brad Knight, CAO/Clerk

Site Plan Control Agreement

THIS AGREEMENT made this 16th day of July, 2019.

BETWEEN:

MOLESWORTH FARM SUPPLY LTD.

(Hereinafter called the "Owner")

- and -

CORPORATION OF THE MUNICIPALITY OF HURON EAST

(Hereinafter called the "Municipality")

WHEREAS the Owner is the owner of the lands described in Schedule "A" hereto (the "Lands") and municipally known as 44743 Line 86, RR # 1, Listowel, Ontario, N4W 3G6;

AND WHEREAS the Owner and the Municipality held a pre-consultation meeting on December 17th, 2018;

AND WHEREAS the Municipality approved the plans and drawings submitted with the Owner's application on July 9th, 2019, subject to certain conditions, including the entering into of an Agreement with respect to the provision of facilities, works or matters as permitted by subs. 41(7) of the *Planning Act*, R.S.O. 1990, c. P. 13;

AND WHEREAS subs. 41(10) of the *Planning Act* permits the registration of this Agreement against the lands to which it applies;

NOW THEREFORE THIS AGREEMENT WITNESSETH THAT in consideration of the mutual covenants hereinafter expressed and other good and valuable consideration, the Parties hereto agree one with the other as follows:

1. Construction in Accordance with Plans and Drawings

The Owner covenants and agrees to develop the Lands and to construct and build such buildings or structures in substantial compliance with the plans and drawings set out in Schedule "B" of this Agreement.

2. Conditions

The Owner covenants and agrees to satisfy each of the conditions set out in Schedule "C" to this Agreement.

3. Fees and Charges

The Owner covenants and agrees to pay the Municipality the fees and charges set out in Schedule "D" to this Agreement. The Owner will be responsible for any other reasonable and foreseeable charges that may occur as a direct result of this development, provided that it shall not be responsible for any indirect claims for business disruption or loss of profits of 3rd parties arising out of the work.

4. Security

In order to guarantee compliance with all conditions contained herein, the Owner covenants and agrees to file with the Municipality prior or upon execution of this Agreement, a letter of credit in the amount of \$125,000. The aforesaid letter of credit shall be in a form approved by the Municipality, and the Owner covenants and agrees that the said letter of credit shall be kept in full force and effect and that it will pay all premiums as the said letter of credit becomes due or until such time as the Municipality returns the letter of credit. The letter of credit or other security will be released by Municipality and returned to Owner in accordance with the terms of Schedule "E". The Owner hereby acknowledges and agrees that should there be a deficiency in or failure to carry out any work or matter required by any clause of this Agreement, and the Owner fails to comply, within thirty (30) days following written notice, with a direction to carry out such work or matter, the Municipality may draw on the letter of credit to the extent necessary and enter onto the subject lands and complete all outstanding works or matters, and pay all costs and expenses incurred thereby from the proceeds so drawn. In place of a letter of credit, the Owner may deposit with the Municipality cash or certified cheque in an amount equal to the letter of credit and such deposit shall be held by the Municipality as security in accordance with this Agreement, provided that no interest shall be payable on any such deposit.

5. Minor Adjustments

- a) Minor adjustments to the requirements and provisions of this Agreement may be made subject to the approval of the Municipality provided that the spirit and intent of the Agreement are maintained. Such minor adjustments shall not require an amendment to this Agreement, however, the written approval of the Municipality is required before such minor adjustment can be made.
- b) The Municipality retains the right to request minor adjustments to the requirements and provisions of this Agreement, at the expense of the Owner, to address compatibility issues with adjacent or adjoining lands that the Municipality may reasonably determine necessary, provided that the spirit and intent of the Agreement are maintained.

6. Entrance Permit

The Owner covenants and agrees to comply with the provisions of an entrance permit issued by the County of Huron on October 4th, 2018 and the requirements of Huron County By-Law 22-2003 and any subsequent amendments thereto.

7. Storm Drainage

The Owner acknowledges the existence of a Stormwater Management Report prepared by MTE Engineering dated January 11th, 2019. The Owner covenants and agrees to construct storm management works in accordance with the drawings C2.1, C2.2 and C2.3 and to complete the outlet for the stormwater management pond in accordance with Permit DEV14/2019 issued by the Maitland Valley Conservation Authority on June 7th, 2019.

8. Noise

The Owner acknowledges the requirement to obtain the necessary Environmental Compliance Approval (ECA) from the Ministry of Environment and Climate Change for the operation of facilities contained in this site plan approval. The Owner covenants and agrees to provide to the Municipality, at the request of the Municipality, evidence of an ECA before the release of the final securities as noted in Schedule "E".

9. Notices

Any notice required to be given by either party to the other shall be mailed, delivered or sent by facsimile transmission or email to:

- (a) the Owner at:

*Molesworth Farm Suply Ltd.
ATTN: Derek Mendez, Manager, Operations and IT
44743 Line 86
RR # 1
Listowel, ON N4W 3G6
phone: 519-291-3740 x 247
email: dmendez@mfsltd.ca*

- (b) the Municipality at:

*ATTN: Brad Knight, CAO/Clerk
Municipality of Huron East
72 Main Street South
Seaforth, ON N0K 1W0
phone: 519-527-0160 x 27
email: bknight@huroneast.com*

or such other address of which the parties have notified the other in writing, and any such notice mailed, delivered or sent by facsimile transmission shall be deemed good and sufficient notice under the terms of this Agreement.

10. Registration of Agreement

The Owner hereby consents to the registration of a Notice of this Agreement to the Lands provided that if same cannot be registered on title, the Owner consents to register a Notice of an Unregistered Interest in the Lands in favour of the Municipality upon the title to the Lands. The Municipality agrees to make the original Agreement available for viewing at the Municipal Office. The Owner agrees to pay the Municipality for all costs incurred in the registration of the said notice. The Owner agrees that it will obtain from any Lender of the Owner which, at the time of registration, holds security registered against title to the Lands, the Lender's consent to postpone its security to this Agreement.

11. Termination of Agreement

If the development proposed by this Agreement is not commenced with one (1) year from the date of the execution of this Agreement, the Municipality may, at its sole option and on thirty (30) days notice to the Owner, declare this Agreement null and void and of no further force or effect and the Owner shall not be entitled to any refund of fees, levies or other charges by the Owner pursuant to this Agreement.

12. Enforcement

The Owner acknowledges that the Municipality, in addition to any other remedy it may have at law, shall also be entitled to enforce this Agreement in accordance with s. 446 of the Municipal Act, 2001.

13. Successors and Assigns

This Agreement and everything herein contained shall enure to the benefit of and be binding upon the parties hereto and their successors and assigns.

IN WITNESS WHEREOF the Parties hereto have hereunto affixed their corporate seals duly attested to by their proper signing officers in that behalf.

SIGNED, SEALED AND DELIVERED

) **MOLESWORTH FARM SUPPLY LTD.**

)

Witness

)

) _____
Derek Mendez, Manager, Operations & IT

) ***CORPORATION OF THE
MUNICIPALITY OF HURON EAST***

)

)

) _____
Bernie MacLellan, Mayor

)

)

)

) _____
Brad Knight, CAO/Clerk

SCHEDULE "A"

SUBJECT LANDS

Part Lots 53 & 54 Concession 1 Grey as in R26255 except hWP2231 & except Parts 1 & 2
22R4651; part Lots 53 & 54, Concession 1 Grey being part 1 22R3981 & as in R282674 & Part
1, 22R4651 & Part 1, 22R4796 & Parts 1-3, 22R6632, s/t right of way for access purposes Part 1,
22R6666 save and except part 4, 22R6632, Municipality of Huron East, County of Huron

Schedule "B"

APPROVED PLANS AND DRAWINGS

The Owner agrees and covenants to construct all buildings, structures, works, services and facilities required under this Agreement in accordance with the below referenced municipally-approved plans and drawings. Plans and drawings may be reviewed in the Municipal Office of the Corporation of the Municipality of Huron East.

4.1 GENERAL ARRANGEMENT SITE PLAN

Identified as : Site Plan for Molesworth Farm Supply New Mill 2
dated February 12th, 2019 with revisions to July 2nd, 2019

Prepared by: Witzel Dyce Engineering Inc.

Approved on: July 9th, 2019

4.2 SITE GRADING, SERVICING AND SWM PLAN

Identified as : Molesworth Farm Supply Mill
dated December 18th, 2018 with revisions to July 3rd, 2019

Prepared by: MTE Engineering

Approved on: July 9th, 2019

4.3 DETAILS AND NOTES

Identified as : Molesworth Farm Supply Mill – Plan 1 dated December 18th 2019
with revisions to July 3rd, 2019

Prepared by: MTE Engineering

Approved on: July 9th, 2019

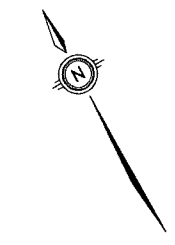
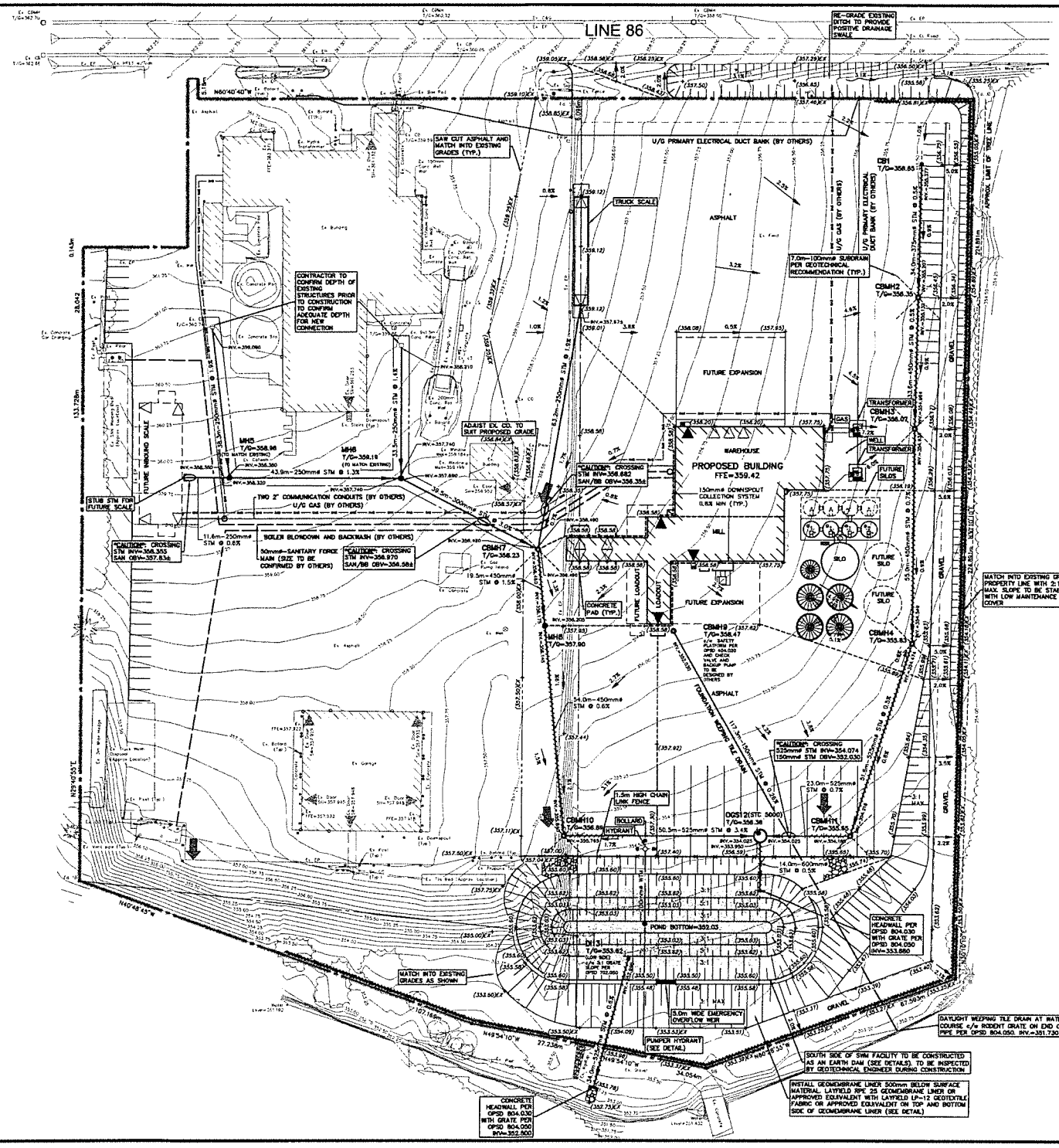
4.4 DETAILS AND NOTES

Identified as : Molesworth Farm Supply Mill – Plan 2 dated December 18th 2019
with revisions to July 3rd 2019

Prepared by: MTE Engineering

Approved on: July 9th, 2019

4.2 SITE GRADING, SERVICING AND SWM PLAN

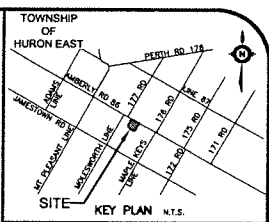


LEGEND OF EXISTING FEATURES

- SITE BOUNDARY
- EASEMENT
- EXISTING CONTOURS
- EXISTING BUILDING
- EXISTING FENCE
- EXISTING RETAINING WALL
- EXISTING R/P RAP
- EXISTING DOWNSPOUT
- EXISTING BOLLARD
- EXISTING MAN DOOR

LEGEND OF PROPOSED FEATURES

- PROPOSED BUILDING
- OVERHEAD DOOR
- MAN DOOR
- PROPOSED SPOT ELEVATIONS EX - MAINTAIN EXISTING 7/8" TOP OF CASTING/CRAVE HW - HIGHEST ELEVATION FTE = FINISHED FLOOR ELEVATION
- DIRECTION OF DRAINAGE/SWALE
- DRAINAGE SPLIT (RIDGE)
- EMBANKMENT (SLOPE AS NOTED)
- STORM SEWER
- WATERMAIN
- SHALLOW PIPE INSULATION (SEE DETAIL)
- OVERLAND FLOW ROUTE (MAJOR STORM)
- SAW CUT
- FENCE
- R/P RAP PER OPSD 810.010 (TYPE B)
- HEAVY DUTY SEDIMENT CONTROL FABRIC ON PAISE WIRE FENCE (SEE DETAIL)
- 100 YEAR PONDING LIMIT (ELEVATION = 324.43)
- SHALLOW PIPE INSULATION (SEE DETAIL)



GEODETIC BM ELEV. = 354.574m
 818275: LARGE CONCRETE CULVERT ON N SIDE OF HWY 86, 0.53M E OF HWY 86 & CTR RD 13, 11.2M N OF CENTRELINE OF HWY 86. TABLE IS SET VERTICALLY IN TOP OF CULVERT, 70CM S OF N EDGE, 1.8M E OF W EDGE, 3.2M W OF E EDGE.
 SITE BENCHMARK ELEV. = m
 SEE ABOVE

NOTE TO CONTRACTOR :
 DO NOT SCALE DRAWINGS.
 CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
 ALL DRAWINGS REMAIN THE PROPERTY OF THE ENGINEER AND SHALL NOT BE REPRODUCED OR REUSED WITHOUT THE ENGINEER'S WRITTEN PERMISSION.
 THE OWNER/ARCHITECT/CONTRACTOR IS ADVISED THAT M.T.E. CONSULTANTS INC. CANNOT CERTIFY ANY COMPONENT OF THE SITE WORKS NOT PROTECTED DURING CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO NOTIFY THE CONSULTANTS AND PRIOR TO COMMENCEMENT OF CONSTRUCTION TO ARRANGE FOR INSPECTION.
NOTE:
 1. PROPERTY LINE IS APPROXIMATE ONLY. TAKEN FROM CAMAR MILL SYSTEMS LTD. SURVEY MACMILLAN & MURRAY KEITH COMPOSITE, DATED NOV 5, 2018.
 2. THIS PLAN IS PART OF A SET OF PLANS WHICH COMPRISE OF THE FOLLOWING: C1.1, C2.1, C2.3 AND THE SWM PLAN.

NO.	REVISION	BY	DATE
1	ISSUED FOR APPROVAL		
2	REVISED DRAINAGE		
3	REVISED PER M.T.E. COMMENTS		
4	REVISED PER M.T.E. COMMENTS		
5	REVISED PER M.T.E. COMMENTS		
6	REVISED PER M.T.E. COMMENTS		
7	REVISED PER M.T.E. COMMENTS		
8	REVISED PER M.T.E. COMMENTS		
9	REVISED PER M.T.E. COMMENTS		
10	REVISED PER M.T.E. COMMENTS		

MTE
 Engineers | Scientists | Surveyors
 (519) 743-6500 www.mte85.com

Professional Engineer
 L.L. BOGGS
 36123719
 July 31/19
 ENGINEER OF CONSTRUCTION

CLIENT: **CAMAR MILL SYSTEMS LTD.**
 1600 KING STREET NORTH PO BOX 419 ST. JACOBS
 PROJECT: **MOLESWORTH FARM SUPPLY MILL**
 42473 PERTH LINE 86 HURON EAST
 DRAWING: **SITE GRADING, SERVICING AND SWM PLAN**

Project Manager	P. DOUGLAS	Project No.	44867-100
Design By	CAH	Checked By	LEI
Drawn By	DKK	Checked By	CAH
Surveyed By	MTE	Drawing No.	C2.1
Date	Dec. 18/18	Scale	1:500
Sheet	2 of 4		

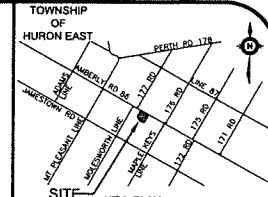
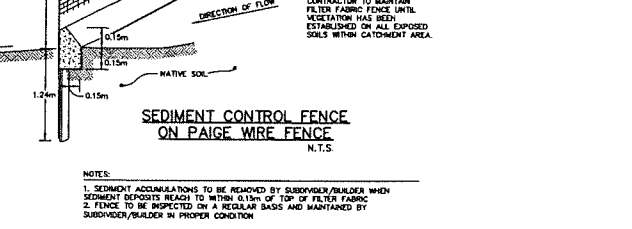
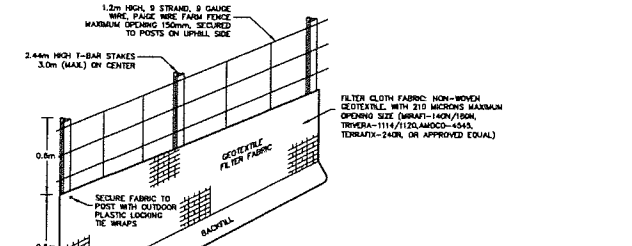
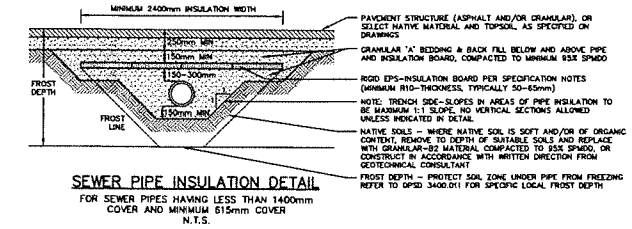
CONSTRUCTION NOTES AND SPECIFICATIONS

FILE NO: 44867-100-C2.2
DETAILS AND NOTES PLAN 1
DATE: 2019-11-28

- 1. GENERAL
1.1. THESE PLANS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS SHOWN AND SEALED BY ENGINEER AND APPROVED BY THE LOCAL MUNICIPALITY.
1.2. THESE PLANS ARE TO BE USED FOR PERMITS AND GRADING ONLY. ANY OTHER INFORMATION SHOWN IS FOR ILLUSTRATION PURPOSES ONLY. THESE PLANS MUST NOT BE USED TO SITE THE PROPOSED DEVELOPMENT.
1.3. NO CHANGES ARE TO BE MADE WITHOUT THE APPROVAL OF THE DESIGN ENGINEER.
1.4. THESE PLANS ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE PERMISSION OF MTE CONSULTANTS INC.
1.5. PRIOR TO CONSTRUCTION, THE CONTRACTOR MUST:
1.5.1. CHECK AND VERIFY ALL EXISTING CONDITIONS, LOCATIONS AND ELEVATIONS WHICH INCLUDE BUT IS NOT LIMITED TO THE BENCHMARK ELEVATION, EXISTING SERVICES, CONNECTIONS AND EXISTING MANHOLE GRATES. ALL DISCREPANCIES TO THE ENGINEER PRIOR TO PROCEEDING.
1.5.2. OBTAIN ALL UTILITY LOCATES AND REQUIRED PERMITS AND LICENSES.
1.5.3. VERIFY THAT THE FINISHED FLOOR ELEVATIONS AND BASEMENT FLOOR ELEVATIONS (WHICH MAY APPEAR ON THIS PLAN) CORRELATE WITH THE FINAL ARCHITECTURAL DRAWINGS.
1.5.4. CONFIRM ALL DRAWINGS USED FOR CONSTRUCTION ARE OF THE MOST RECENT REVISION.
1.6. THE CONTRACTOR SHALL ASSUME ALL LIABILITY FOR ANY DAMAGE TO EXISTING WORKS. THE CONTRACTOR IS RESPONSIBLE FOR RESTORATION OF ALL DAMAGED AND/OR DESTROYED FACILITIES WITHIN THE MUNICIPAL RIGHT-OF-WAY TO LOCAL MUNICIPALITY STANDARDS.
1.7. ALL WORKS ON A MUNICIPAL RIGHT-OF-WAY WITH THE EXCEPTION OF WATERMAIN TAPPING TO BE INSTALLED BY THE OWNER'S CONTRACTOR AT OWNER'S EXPENSE, IN ACCORDANCE WITH THE LOCAL MUNICIPALITY'S PROCEDURE FOR OFF-SITE WORKS BY PRIVATE CONTRACTOR. THE OWNER AND CONTRACTOR ARE TO ENSURE OFF-SITE WORKS PERMIT IS IN PLACE PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR RESTORATION OF ALL AFFECTED PROPERTY TO ORIGINAL CONDITION. ALL ROADWAY AREAS SHALL BE RESTORED WITH 150mm TOPSOIL AND SO2.
1.8. ALL UNDERGROUND SERVICES ARE TO BE CONSTRUCTED IN FULL COMPLIANCE WITH THE ONTARIO PROVINCIAL BUILDING CODE (PART 7, PLUMBING), THE ONTARIO PROVINCIAL STANDARD SPECIFICATIONS (SPES) AND THE REGULATIONS OF THE LOCAL MUNICIPALITY AND THE REGIONAL MUNICIPALITY OF WATERLOO WHICH CODES AND REGULATIONS SHALL SUPERSEDE ALL OTHERS.
1.9. CONTRACTOR IS RESPONSIBLE FOR CONTACTING ENGINEER OR OWNER PRIOR TO COMMENCING WORK TO OBTAIN PERMISSION AND INSPECTION REQUIRED FOR CERTIFICATION AND APPROVAL. SOME INSTALLATION AS MANDATED BY ONTARIO BUILDING CODE, DIVISION C, PART 7, SECTION 1.2.3, GENERAL REVIEW FAILURE TO NOTIFY ENGINEER WILL RESULT IN EXTENSIVE POST CONSTRUCTION INSPECTION AT CONTRACTORS EXPENSE.
1.10. SANITARY AND STORM SEWERS AND SERVICES TO HAVE A MINIMUM 1mm COVER TO TOP OF PIPE. WHERE COVER TO TOP OF PIPE IS DEFICIENT, CONTRACTOR SHALL INSTALL SHALLOW BURIED PIPE IN ACCORDANCE WITH APPLICABLE 'SEWER PIPE INSULATION DETAIL' INDICATED IN DRAWING DETAILS. CONTACT DESIGN ENGINEER FOR 'SEWER PIPE INSULATION DETAIL' IF REQUIRED.
1.11. PLAN TO BE READ IN CONJUNCTION WITH SWM REPORT AND DRAWINGS C1.1 AND C1.2 PREPARED BY MTE CONSULTANTS INC AND LANDSCAPE PLAN.
1.12. SITE PLAN INFORMATION TAKEN FROM PLAN PREPARED BY CAMAR HILLS SYSTEMS LTD. DATED DEC. 17, 2018.
1.13. LOCAL INFORMATION TAKEN FROM PLAN PREPARED BY SURVEYOR MACMILLAN & MURRAY KETH COMPOSITE DATED NOV. 5, 2018.
1.14. EXISTING TOPOGRAPHIC INFORMATION TAKEN FROM PLAN PREPARED BY MTE CONSULTANTS INC. DATED OCT. 29, 2018.
1.15. SITE PLAN AND LEGAL INFORMATION TAKEN FROM PLAN PREPARED BY CAMAR HILLS SYSTEMS LTD. DATED JAN. 20, 2018 AND SURVEY MACMILLAN & MURRAY KETH COMPOSITE DATED NOV. 5, 2018.
1.16. CONTRACTOR TO OBTAIN WRITTEN PERMISSION FROM ADJACENT PROPERTY OWNER PRIOR TO ENTERING UPON NEIGHBORING LANDS TO UNDERTAKE ANY WORK. COPIES OF THESE LETTERS OF CONSENT SHALL BE SUBMITTED TO THE DEPARTMENT OF PUBLIC WORKS FOR APPROVAL PRIOR TO ANY WORK BEING PERFORMED. FAILURE TO COMPLY WITH THE ABOVE IS AT CONTRACTORS OWN RISK.
1.17. SITE SEWERING CONTRACTOR TO TERMINATE ALL SERVICES 1 METRE FROM FOUNDATION WALL.
1.18. FILTER FABRIC TO BE TERRAFIX 200R OR APPROVED EQUAL.
1.20. MAXIMUM GRASSED SLOPE TO BE 3:1. SLOPES GREATER THAN 3:1 TO BE LANDSCAPED WITH LOW MAINTENANCE GRASS AND COVER.
1.21. SIDE SLOPES OF ALL STOCKPILES OR EXTRACTION FACES TO BE MAINTAINED AT 70 DEGREES OR LESS BETWEEN EARLY APRIL AND LATE AUGUST TO DETRIT BANK SHALLOWS FROM WINDING.
1.22. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC AND SAFETY MEASURES DURING THE CONSTRUCTION PERIOD INCLUDING THE SUPPLY, INSTALLATION AND REMOVAL OF ALL NECESSARY SIGNALS, DELINEATORS, MARKERS, AND BARRIERS. ALL SIGNALS ETC. SHALL CONFORM TO THE STANDARDS OF THE LOCAL MUNICIPALITY AND THE MTO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
1.23. THE POSITION OF HOLE LINES, CONDUITS, WATERMANS, SEWERS AND OTHER UNDERGROUND AND OVERGROUND UTILITIES AND STRUCTURES IS NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS, AND WHERE SHOWN, THE ACCURACY OF THE POSITION, SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. BEFORE STARTING WORK, THE CONTRACTOR SHALL INFORM HIMSELF OF THE EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES AND SHALL ASSUME ALL LIABILITY FOR DAMAGE TO THEM.
1.24. CONTRACTOR TO MAINTAIN A 'COVERED TRENCH CONDITION' IN ALL SEWER AND SERVICE TRENCHES.
1.25. FOLLOWING COMPLETION OF PROPOSED WORKS AND PRIOR TO OCCUPANCY INSPECTION, ALL STORM AND SANITARY SEWERS ARE TO BE FLUSHED AND ALL WATERMAIN AND CATCHBASIN MANHOLE SLUICES ARE TO BE CLEANED OF DEBRIS AND SILT.
2. STORM SEWERS
2.1. PIPE BEDDING FOR RIGID PIPE TO BE CLASS 'T' AS PER OPD B20.030. RIGID PIPE TO BE AS PER OPD B20.030. BEDDING MATERIAL AND COVER MATERIAL TO BE GRANULAR 'A'. TRENCH BACKFILL TO BE NATIVE MATERIAL REPLACED IN 300mm LIFTS AND COMPACTED TO 95% STANDARD PROCTOR DENSITY.
2.2. STORM SEWERS, 150mm AND SMALLER, SHALL BE POLYETHYLENE GLYCOL (PE) PIPE CLASS ASTM-D3034 WITH INTERNAL BELL AND SPOUT WELDING FLEXIBLE ELASTOMERIC SEALS.
2.3. STORM SEWERS, 300mm TO 375mm SHALL BE POLYETHYLENE GLYCOL (PE) PIPE CLASS ASTM-D3034 OR RIBBED PVC SEWER PIPE CSA B182.4-MSD ASTM-F774 WITH INTERNAL BELL AND SPOUT WELDING FLEXIBLE ELASTOMERIC SEALS. RIBBED PVC NOT TO BE USED WITHIN-RIGHT-OF-WAY.
2.4. STORM SEWERS, 450mm AND LARGER SHALL BE CONCRETE PIPE, CSA-A557.2 85-1 WITH RUBBER CASTING LIP OR RIBBED PVC SEWER PIPE CSA B182.4-MSD ASTM-F774 WITH INTERNAL BELL AND SPOUT WELDING FLEXIBLE ELASTOMERIC RIBBED PVC NOT TO BE USED WITHIN-RIGHT-OF-WAY.

- 2.5. MANHOLES AND MANHOLE CATCHBASINS TO BE 1200mm PRECAST WITH ALUMINUM STEPS AT 300mm CENTRES AS PER OPD 705.030 UNLESS OTHERWISE SPECIFIED.
2.6. CATCHBASINS TO BE 800mm SQUARE PRECAST AS PER OPD 705.030.
2.7. DITCH BUILT CATCHBASINS TO BE 600mm SQUARE AS PER OPD 705.030, WITH 3:1 SLOPE OR GRATE UNLESS OTHERWISE SPECIFIED.
2.8. CATCHBASIN MANHOLES AND CATCHBASINS TO HAVE A MINIMUM 600mm DEEP SLUMP. WHEN THE STRUCTURE INCLUDES THE INSTALLATION OF A SPOUT (OR APPROVED EQUIVALENT) THE SLOPE DEPTH TO BE AN MIN 2.5 TIMES THE OUTLET PIPE DIAMETER SIZE.
2.9. MANHOLE AND CATCHBASIN FRAMES, GRATES, CASTINGS AND LIDS TO BE QUALITY GREY IRON ASTM A CLASS 30L.
2.10. STORM MANHOLE LIDS TO BE PER OPD 400.010 - TYPE 17 CONNECTIONS AND CATCHBASIN MANHOLE GRATES TO BE PER OPD 400.010, DITCH BUILT CATCHBASIN GRATES TO BE PER OPD 400.010.
2.11. UNDER NO CIRCUMSTANCES SHALL THE BUILDING FOUNDATION DRAINAGE BE CONNECTED DIRECTLY TO THE STORM SEWER SYSTEM.
2.13. ALL WEEPING TILE DRAINAGE TO BE PUMPED TO THE STORM SEWER SYSTEM.
3. WATERMANS
3.1. PIPE BEDDING FOR RIGID PIPE TO BE CLASS 'T' AS PER OPD B20.030. PIPE BEDDING FOR FLEXIBLE PIPE TO BE AS PER OPD B20.030. BEDDING MATERIAL AND COVER MATERIAL TO BE GRANULAR 'A'. TRENCH BACKFILL TO BE NATIVE MATERIAL REPLACED IN 300mm LIFTS AND COMPACTED TO 95% STANDARD PROCTOR DENSITY.
3.2. WATERMANS 100mm AND LARGER SHALL BE PVC CROSS CLASS 150 INSTALLED WITH MINIMUM 2.0 MCT. SMALLER WATERMANS 100mm AND LARGER 150 (CLASS 150) CSA B137.3.
3.3. WATERMAIN FITTINGS TO BE SUPPLIED WITH MECHANICAL JOINT RESTRAINTS. FOR WATERMAIN PIPE SIZES 150mm OR LESS ALL PIPE JOINTS TO BE RESTRAINED WITHIN 3.0m FROM ALL FITTINGS, IN EACH DIRECTION, UNLESS SHOWN OTHERWISE ON THE CONTRACT DRAWINGS. FOR WATERMAIN PIPE SIZES GREATER THAN 150mm ALL PIPE JOINTS TO BE RESTRAINED WITHIN 10.0m FROM ALL FITTINGS, IN EACH DIRECTION, UNLESS SHOWN OTHERWISE ON THE CONTRACT DRAWINGS. ALL FITS TO BE MINIMUM 2.0m SOLID PIPE LENGTH ON EACH END OF THE TIE OR PROVIDE A THROUGH PIPE OPD 116.010.
3.4. ALL METALLIC FITTINGS (EXCLUDING COMBINATION STOP AND BRASS FITTINGS) AND APPURTENANCES INCLUDING SADDLES, VALVES, TEES, BONDS ETC. ARE TO BE WRAPPED WITH AN APPROVED PETROLATION SYSTEM CONSISTING OF PASTE, WASTIC AND TAPE. PARTICULAR ATTENTION SHALL BE GIVEN TO INSTALLATION. CONTRACTOR TO REFER TO THE MOST RECENT EDITION OF THE LOCAL MUNICIPALITY'S WATERMAIN SPECIFICATIONS, CODES AND SUPPLEMENTAL SPECIFICATIONS FOR MUNICIPAL SERVICES.
3.5. PVC WATERMAIN SHALL HAVE TWO STRANDED COPPER WIRE TRAZERS WIRE STRAPPED TO TOP AT 3 METRE INTERVALS. TRAZERS WIRE SHALL BE BROUGHT TO THE SURFACE AT ALL HYDRANTS AND GAS RELEASE TO THE LOWER FLANGE OF THE HYDRANT.
3.6. HYDRANTS SHALL BE CANADA VALVE 'CENTURY' OR APPROVED EQUIVALENT WITH 3-6mm HOSE CONNECTIONS INCLUDING 3.5kg ANODE.
3.7. ALL WATERMANS AND FITTINGS TO BE PRESSURE TESTED IN ACCORDANCE WITH OPD 441.
3.8. ALL WATERMAIN TO BE PRESSURE TESTED IN ACCORDANCE WITH PART C 451-10 INCLUDING OBSERVATION, BACKFLOW PREVENTER AND 24 HOUR DUPLICATE SAMPLING. ALL TESTING AND DESIGNING TO BE COMPLETED BY THE SUPERVISOR OF THE ENGINEER. CONTRACTOR TO SUBMIT WATER MAINS COMPLETION PLAN IN ACCORDANCE WITH DESIGN PLAN MUST BE APPROVED BY THE LOCAL MUNICIPALITY PRIOR TO ANY WATERMAIN WORKS.
3.9. PRIOR TO OCCUPANCY, CONTRACTOR MUST COMMISSION FLOW TEST FOR PRIVATE ON-SITE HYDRANT, PROVIDE RESULT TO DESIGN ENGINEER.
4. EROSION AND SEDIMENT CONTROL
4.1. CONTRACTOR TO INSTALL EROSION CONTROL MEASURES AS SHOWN PRIOR TO CONSTRUCTION AND MAINTAIN IN GOOD CONDITION UNTIL CONSTRUCTION IS COMPLETED AND ALL RESTORED GROUND SURFACES HAVE BEEN REVEGETATED EITHER BY PAVING OR RESTORATION OF VEGETATIVE COVER.
4.2. ALL SEDIMENT CONTROL FENCING TO BE INSTALLED PRIOR TO ANY AREA GRADING, EXCAVATION OR DEMOLITION WORKING.
4.3. EROSION CONTROL FENCING TO BE INSTALLED AROUND BASE OF ALL STOCKPILES, ALL STOCKPILES TO BE KEPT 2.5m MINIMUM FROM PROPERTY LINE.
4.4. EROSION PROTECTION TO BE PROVIDED AROUND ALL STORM AND SANITARY UHNS AND CEN.
4.5. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AS SITE DEVELOPMENT PROGRESSES. CONTRACTOR TO PROVIDE ALL ADDITIONAL EROSION CONTROL STRUCTURES.
4.6. EROSION CONTROL STRUCTURES TO REMAIN IN PLACE UNTIL ALL RESTORED GROUND SURFACES HAVE BEEN REVEGETATED.
4.7. NO ALTERNATE METHODS OF EROSION PROTECTION SHALL BE PERMITTED UNLESS APPROVED BY THE ENGINEER AND THE LOCAL MUNICIPALITY'S DEPARTMENT OF PUBLIC WORKS.
4.8. CONTRACTOR TO CLEAN ROADWAY AND SIDEWAYS OF SEDIMENTS RESULTING FROM CONSTRUCTION TRAFFIC FROM THE SITE EACH DAY.

- 4.9. CONTRACTOR MUST REMOVE EROSION AND SEDIMENTATION FENCING PRIOR TO COMPLETION OF PROJECT. CONTRACTOR TO HAVE EROSION AND SEDIMENTATION FENCE INSPECTED WHEN VEGETATION HAS ESTABLISHED, BUT PRIOR TO FENCE BECOMING OVERGROWN. ENGINEER'S REPRESENTATIVE TO DETERMINE IF VEGETATION HAS REACHED THE CRITICAL POINT AND WILL THEN INSTRUCT CONTRACTOR TO REMOVE FENCE.
5. MAINTENANCE RECOMMENDATIONS
5.1. REMOVE SEDIMENT AND CONTAMINANTS ANNUALLY AND REINSTATE STORM WATER MANAGEMENT FACILITY ACCORDING TO THE DESIGN OUTLINED ON THIS PLAN.
5.2. EROSION CONTROL STRUCTURES TO BE MONITORED REGULARLY AND ANY DAMAGE REPAIRED IMMEDIATELY. SEDIMENTS TO BE REMOVED WHEN ACCUMULATIONS REACH A MAXIMUM OF 1/3 THE HEIGHT OF THE FENCE.
5.3. OWNER'S REPRESENTATIVE TO MONITOR EROSION CONTROL STRUCTURES TO ENSURE FENCING IS INSTALLED AND MAINTENANCE IS PERFORMED TO CITY REQUIREMENTS.
5.4. THE PROPOSED STORMCONTROL(S) WILL REQUIRE REGULAR ANNUAL MAINTENANCE. OWNER TO ENTER INTO A MAINTENANCE AGREEMENT WITH A SATISFACTORY CONTRACTOR TO COMPLETE THE WORK.



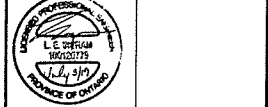
GEODETIC BM ELEV. = 354.574m
B18275: LARGE CONCRETE CURB ON N SIDE OF HWY 85
0.8M E OF HWY 85 & CITY RD 19, 11.2M N OF CENTRELINE
OF HWY 85. TABLE IS SET VERTICALLY IN TOP OF CURB
7.0M S OF N EDGE, 1.8M E OF W EDGE, 3.2M W OF E EDGE
SITE BENCHMARK ELEV. =
SEE ABOVE

NOTE TO CONTRACTOR:
DO NOT SCALE DRAWINGS.
CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
ALL DRAWINGS REMAIN THE PROPERTY OF THE ENGINEER AND SHALL NOT BE REPRODUCED OR COPIED WITHOUT THE ENGINEER'S WRITTEN PERMISSION.
THE OWNER/ARCHITECT/CONTRACTOR IS ADVISED THAT MTE CONSULTANTS INC. CANNOT CERTIFY ANY COMPONENT OF THE SITE WORKS NOT SPECIFIED DURING CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO NOTIFY MTE CONSULTANTS INC. PRIOR TO COMMENCEMENT OF CONSTRUCTION TO ARRANGE FOR INSPECTION.

NOTE:
1. PROPERTY LINE IS APPROXIMATE ONLY, TAKEN FROM CAMAR HILLS SYSTEMS LTD. SURVEY MACMILLAN & MURRAY KETH COMPOSITE, DATED NOV 5, 2018.
2. THIS PLAN IS PART OF A SET OF PLANS WHICH COMPRISE OF THE FOLLOWING: C1.1, C2.1, C2.3, AND THE SWM REPORT.

NO.	REVISION	DATE
1	ISSUED FOR APPROVAL	MAR 29/2019
2	ISSUED FOR APPROVAL	JUN 13/2019
3	ISSUED FOR APPROVAL	JUN 13/2019
4		
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MTE
Engineers | Scientists | Surveyors
(519) 743-8500 www.mte85.com



CLIENT
CAMAR HILLS SYSTEMS LTD.
1800 KING STREET NORTH PO BOX 419 ST. JACOBS
PROJECT
MOLESWORTH FARM SUPPLY MILL
44743 PERTH LINE 86 HURON EAST

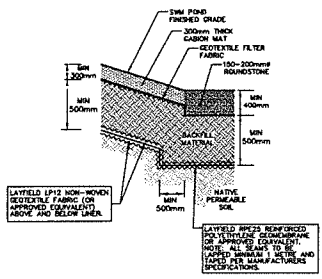
DETAILS AND NOTES
PLAN 1
Project Manager: P. DOUGLAS Project No.: 44867-100
Design By: CAH Checked By: LEI
Drawn By: DDK Checked By: CAH
Surveyed By: MTE Drawing No.:
Date: Dec. 18/18 C2.2
Scale: 1:500 Sheet 3 of 4

4.3 DETAILS AND NOTES

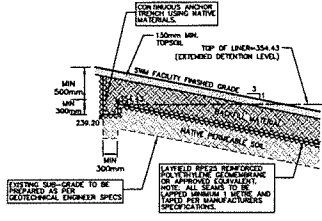
DATE: 2019-11-28

LINER CONSTRUCTION DETAILS AND SPECIFICATIONS

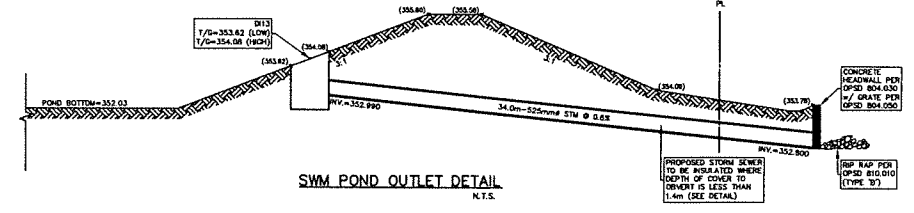
1. THE LOCATION AND ELEVATION OF EXISTING INFRASTRUCTURE SERVICES AND UTILITIES TO BE VERIFIED BY THE CONTRACTOR AT THEIR EXPENSE. CONTRACTOR IS RESPONSIBLE FOR THE RESTORATION AND/OR REPAIR OF DISTURBANCES TO SAME DURING CONSTRUCTION.
2. FOLLOWING EXCAVATION TO SUBGRADE:
 - 2.1. ALL STONES LARGER THAN 25mm, ALL ANGULAR OR SHARP ROCK OR STONE FRAGMENTS, ALL ROOTS, METALLIC OBJECTS, CONSTRUCTION DEBRIS, AND ANY OTHER DELETERIOUS MATTER TO BE REMOVED FROM POND SUB-GRADE.
 - 2.2. SUB-GRADE TO BE PROOF-ROLLED.
3. SUB-GRADE TO BE INSPECTED AND ACCEPTED BY SUPERVISING GEOTECHNICAL CONSULTANT PRIOR TO PLACEMENT OF LINER SURFACE TO BE CORRECTED AS REQUIRED AND MAINTAINED IN SATISFACTORY CONDITION UNTIL PLACEMENT OF LINER. LINER MANUFACTURER ALSO TO APPROVE SUB-BASE PRIOR TO LINER PLACEMENT.
4. SUB-GRADE TO BE PROTECTED FROM DESICCATION CRACKING AND ANY HARDS, RITS, WINDROWS, AND STANDING WATER TO BE REMOVED FROM SUBGRADE PRIOR TO LINER PLACEMENT.
5. ACCEPTABLE LINER MATERIALS ARE LAYFIELD LP12 COVERED WITH SPECS, OR ALTERNATE MATERIAL HAVING COMPARABLE SPECIFICATIONS. SUBMIT PROPOSED SPECIFICATIONS FOR REVIEW & APPROVAL PRIOR TO ORDERING OF POND LINER.
6. LINER TO BE CAREFULLY PLACED, USING MANUFACTURER'S RECOMMENDATIONS FOR PLACEMENT, LAPPING (LAP), ANCHORING AND TAPPING. SUBMIT FULL COPY OF MANUFACTURER'S INSTALLATION AND MAINTENANCE GUIDELINES TO OWNER'S GEOTECHNICAL ENGINEER AND HIS CONSULTANTS INC. PRIOR TO ORDERING OF LINER. LINER TO BE PLACED ON LAYFIELD LP12 NON-WOVEN GEOTEXTILE (OR APPROVED EQUIVALENT). LINER TO BE COVERED WITH LAYFIELD LP12 NON-WOVEN GEOTEXTILE (OR APPROVED EQUIVALENT).
7. COMPLETED LINER INSTALLATION TO BE BACKFILLED WITH A 500mm THICKNESS OF NATIVE MATERIAL APPROVED BY SUPERVISING GEOTECHNICAL CONSULTANT. ALL STONES LARGER THAN 25mm, ALL ANGULAR OR SHARP ROCK OR STONE FRAGMENTS, ALL ROOTS, METALLIC OBJECTS, CONSTRUCTION DEBRIS, AND ANY OTHER DELETERIOUS MATTER TO BE REMOVED PRIOR TO PLACEMENT.
8. THE USE OF NATIVE COVER MATERIAL WILL REQUIRE SORTING AND STOCKPILING TO ENSURE SUFFICIENT QUANTITY IS AVAILABLE FOR PLACEMENT.
9. BACKFILL MATERIAL TO BE PLACED USING EXTENDED-REACH BACKHOE/EXCAVATOR BUCKET WITHOUT TRACKING ONTO LINER SURFACE, OR LOW-GROUND-PRESSURE EQUIPMENT WITH MAXIMUM 200 kPa (30 psi) GROUND PRESSURE (i.e. CAT D3-LOP or D4-LOP or EQUIVALENT). SHOULDER EQUIPMENT NOT PERMITTED TO MAKE TURNS OVER LINER (STRAIGHT-RUN ONLY). ALL MATERIAL TO BE GENTLY PLACED OR "ROLLED", NOT PUSHED ACROSS LINER CREATING SURFACE SHEAR FORCES. SPLITTER TO BE USED ADJACENT TO FILL PLACEMENT AREA TO VISUALLY MONITOR PLACEMENT. WHERE SPLITTER THINGS HAVE BEEN TRANSMITTED TO LINER, COVER FOR LINER DAMAGE UNDER MATERIAL. MATERIAL TO BE COMPACTED TO BE SPREAD USING ONLY MILD-BEARING OR SMALL, TRAILER-MOUNTED ROLLING EQUIPMENT. COMPACTED LINER MATERIAL TO BE WITHIN +/- 30mm of SPECIFIED THICKNESS (AVERAGE, NOT UNIFORM, THICKNESS).



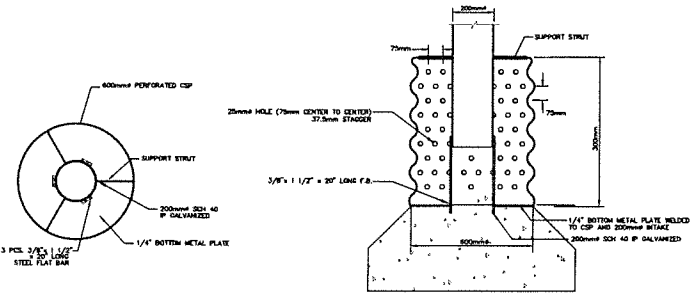
TYPICAL SWM FACILITY LINER CONSTRUCTION N.T.S.



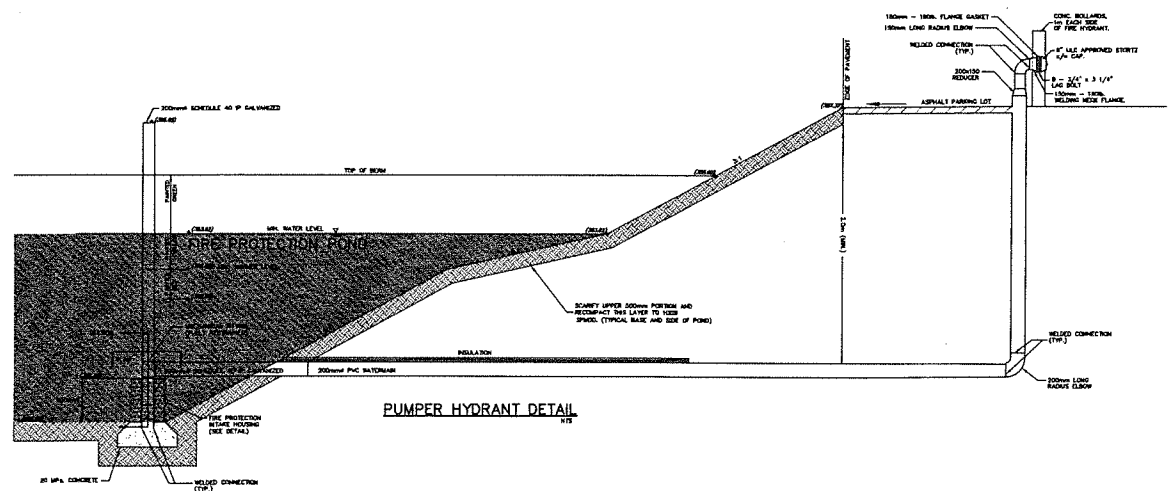
TYPICAL ANCHOR STATE N.T.S.



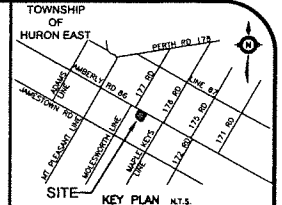
SWM POND OUTLET DETAIL N.T.S.



INTAKE HOUSING DETAIL N.T.S.



PUMPER HYDRANT DETAIL N.T.S.



GEODETIC BM ELEV. = 354.574m
 818275: LARGE CONCRETE CULVERT ON N. SIDE OF HWY 86, 0.30m E. OF HWY 86 & CITY CENTER LN, 11.2m N. OF CENTRELINE OF HWY 86. TABLE IS SET VERTICALLY IN TOP OF CULVERT, 70cm S. OF N. EDGE, 1.8m E. OF W. EDGE, 3.2m W. OF E. EDGE.
 SITE BENCHMARK ELEV. = 354.574m
 SEE ABOVE

NOTE TO CONTRACTOR :
 DO NOT SCALE DRAWINGS.
 CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
 ALL DRAWINGS REMAIN THE PROPERTY OF THE ENGINEER AND SHALL NOT BE REPRODUCED OR REDUCED WITHOUT THE ENGINEER'S WRITTEN PERMISSION.
 THE OWNER/ARCHITECT/CONTRACTOR IS ADVISED THAT M.T.E. CONSULTANTS INC. CANNOT VERIFY ANY COMPONENT OF THE SITE WORKS NOT INSPECTED DURING CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO NOTIFY M.T.E. CONSULTANTS INC. PRIOR TO COMMENCEMENT OF CONSTRUCTION TO ARRANGE FOR INSPECTION.

NOTE:
 1. PROPERTY-LINE IS APPROXIMATE ONLY, TAKEN FROM CAMAR MILL SYSTEMS LTD. SURVEY MADGILLIAN & MURRAY NORTH COMPOSITE, DATED NOV. 8, 2016.
 2. THIS PLAN IS PART OF A SET OF PLANS WHICH COMPRISE OF THE FOLLOWING: C1.1, C2.1, C2.3 AND THE SWM REPORT.

NO.	REVISION	DATE
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 Engineers | Scientists | Surveyors
 (519) 743-8500 www.mte65.com

L.E. HERMAN
 INCORPORATED
 1114 9th St
 PRESENCE OF ONTARIO

CLIENT
CAMAR MILL SYSTEMS LTD.
 1500 KING STREET NORTH PO BOX 419 ST. JACQUES
 PROJECT
MOLESWORTH FARM SUPPLY MILL
 44743 PERTH LINE 86 HURON EAST

DETAILS AND NOTES PLAN 2

Project Manager P. DOUGLAS	Project No. 44867-100
Design By CAH	Checked By LEI
Drawn By DDK	Checked By CAH
Surveyed By MTE	Drawing No. C2.3
Date Dec. 18/18	Scale 1:500
Sheet 4 of 4	

Schedule "C"

CONDITIONS OF SITE PLAN APPROVAL

1. The Owners covenant and agree to:

- **Access facilities:** The Owner shall install and maintain delineated entrances/exits at all locations shown on the approved drawing.
- **Maintenance of facilities and works:** The Owner acknowledges and agrees that its obligations hereunder are to construct, install and maintain the works including the replacement or relocation or repair of any of the works which are damaged or altered in connection with the installation of any such infrastructure.
- **Surfacing :** Entrance/exit driveways shall be surfaced with hot-mix asphalt and maintained in accordance with Huron County By-Law 22-2003.
- **Snow Removal:** All snow that is removed from the entrance/exit driveways, internal driveways, vehicle parking areas, and vehicle manoeuvring areas shall be kept/stored on the subject property and not on any abutting road allowance.
- **Lighting:** Exterior and/or outdoor lighting provided with the use of the subject property shall be located , installed and oriented to prevent glare on the adjacent properties and roadways.
- **Drainage:** Surface water shall be controlled in such a manner that ensures there is no new or additional run-off onto adjacent properties and road right of ways/ roads.
- **Landscaping:** The Owner shall complete (subject to climatic conditions) and maintain landscaping and planting on the lands in accordance with the approved site plan to the satisfaction of the Municipality.
- **Signage:** All signage for the subject property shall comply with the requirements of the Municipality of Huron East Signage By-law.

Schedule "D"

FINANCIAL PAYMENTS

The Owner covenants and agrees to pay to the Municipality, upon execution of this Agreement, the following fees:

1. Legal Fees for the preparation of this Agreement, the registration of this Agreement and the registration of any accessory agreements and documentation necessary to effect this Agreement;
2. Review fees of the Municipality's Engineer for the review of drawings and plans associated with this Agreement.
3. Review Fees by the Planner for the Municipality to conduct a review for compliance with the Municipality's Official Plan and Zoning By-law

Schedule "E"

RELEASE OF SECURITIES

Securities will be released when the building is fully completed and all the site work has been completed as per the Plans and Drawings noted in Schedule "B" in accordance with the following schedule:

- a) 90% of the securities will be released upon the substantial completion of the paving of the site and a certificate of substantial completion by the Owner's Engineer.
- b) The balance of the securities will be released upon the issuance of an Environmental Compliance Approval (ECA) by the Ministry of Environment and Climate Change.

**THE CORPORATION
OF THE
MUNICIPALITY OF HURON EAST
BY-LAW NO. 51 FOR 2019**

**A BY LAW TO AUTHORIZE A SITE PLAN CONTROL AGREEMENT
BETWEEN THE CORPORATION OF THE MUNICIPALITY OF HURON EAST AND
10368407 CANADA INC.**

WHEREAS the Corporation of the Municipality of Huron East deems it advisable and necessary to enter into a Site Plan Control Agreement with 10368407 Canada Inc. to permit the construction of an industrial building to accommodate the expansion of a welding and fabrication facility at 18 – 5th Avenue, Vanastra being Lot 18, Plan 133 (Vanastra), Tuckersmith Ward, Municipality of Huron East, County of Huron;

AND WHEREAS the proposed development is subject to Site Plan Control pursuant to Section 41 of the Planning Act, RSO 1990, and By-law # 27-2014 of the Corporation of the Municipality of Huron East.

NOW THEREFORE THE MUNICIPAL COUNCIL OF THE CORPORATION OF THE MUNICIPALITY OF HURON EAST ENACTS AS FOLLOWS:

1. That the Mayor and CAO/Clerk be and are hereby authorized and instructed to sign all of the necessary documents to conclude the Site Plan Control Agreement between the Corporation of the Municipality of Huron East and 10368407 Canada Inc.

READ A FIRST, SECOND AND THIRD TIME AND FINALLY PASSED THIS 16TH DAY OF JULY, 2019.

Bernie MacLellan, Mayor

Brad Knight, CAO/Clerk

Site Plan Control Agreement

THIS AGREEMENT made this 16th day of July, 2019.

BETWEEN:

10368407 CANADA INC.

(Hereinafter called the "Owner")

- and -

CORPORATION OF THE MUNICIPALITY OF HURON EAST

(Hereinafter called the "Municipality")

WHEREAS the Owner is the owner of the lands described in Schedule "A" hereto (the "Lands") and municipally known as 18 – 5th Avenue, Vanastra, Ontario, N0M 1L0;

AND WHEREAS the Owner and the Municipality held a pre-consultation meeting on June 25th, 2019;

AND WHEREAS the Municipality approved the plans and drawings submitted with the Owner's application on July 9th, 2019, subject to certain conditions, including the entering into of an Agreement with respect to the provision of facilities, works or matters as permitted by subs. 41(7) of the *Planning Act*, R.S.O. 1990, c. P. 13;

AND WHEREAS subs. 41(10) of the *Planning Act* permits the registration of this Agreement against the lands to which it applies;

NOW THEREFORE THIS AGREEMENT WITNESSETH THAT in consideration of the mutual covenants hereinafter expressed and other good and valuable consideration, the Parties hereto agree one with the other as follows:

1. Construction in Accordance with Plans and Drawings

The Owner covenants and agrees to develop the Lands and to construct and build such buildings or structures in substantial compliance with the plans and drawings set out in Schedule "B" of this Agreement.

2. Conditions

The Owner covenants and agrees to satisfy each of the conditions set out in Schedule "C" to this Agreement.

3. Fees and Charges

The Owner covenants and agrees to pay the Municipality the fees and charges set out in Schedule "D" to this Agreement. The Owner will be responsible for any other reasonable and foreseeable charges that may occur as a direct result of this development, provided that it shall not be responsible for any indirect claims for business disruption or loss of profits of 3rd parties arising out of the work.

4. Security

In order to guarantee compliance with all conditions contained herein, the Owner covenants and agrees to file with the Municipality prior or upon execution of this Agreement, a letter of credit in the amount of \$1,000. The aforesaid letter of credit shall be in a form approved by the Municipality, and the Owner covenants and agrees that the said letter of credit shall be kept in full force and effect and that it will pay all premiums as the said letter of credit becomes due or until such time as the Municipality returns the letter of credit. The letter of credit or other security will be released by Municipality and returned to Owner in accordance with the terms of Schedule "E". The Owner hereby acknowledges and agrees that should there be a deficiency in or failure to carry out any work or matter required by any clause of this Agreement, and the Owner fails to comply, within thirty (30) days following written notice, with a direction to carry out such work or matter, the Municipality may draw on the letter of credit to the extent necessary and enter onto the subject lands and complete all outstanding works or matters, and pay all costs and expenses incurred thereby from the proceeds so drawn. In place of a letter of credit, the Owner may deposit with the Municipality cash or certified cheque in an amount equal to the letter of credit and such deposit shall be held by the Municipality as security in accordance with this Agreement, provided that no interest shall be payable on any such deposit.

5. Minor Adjustments

- a) Minor adjustments to the requirements and provisions of this Agreement may be made subject to the approval of the Municipality provided that the spirit and intent of the Agreement are maintained. Such minor adjustments shall not require an amendment to this Agreement, however, the written approval of the Municipality is required before such minor adjustment can be made.
- b) The Municipality retains the right to request minor adjustments to the requirements and provisions of this Agreement, at the expense of the Owner, to address compatibility issues with adjacent or adjoining lands that the Municipality may reasonably determine necessary, provided that the spirit and intent of the Agreement are maintained.

6. Boulevard Restoration

The Owner covenants and agrees to restore the boulevard on 10th Street from the northerly extent of the Stage I addition southerly to the existing laneway on 5th Avenue. Boulevard restoration shall involve grading, levelling and re-seeding to the satisfaction of the Public Works Coordinator.

7. Notices

Any notice required to be given by either party to the other shall be mailed, delivered or sent by facsimile transmission or email to:

- (a) the Owner at:

*10368407 Canada Inc.
o/a Wozniak Welding and Fabrication
ATTN: Aaron Wozniak, President
9 Mill Road,
Egmondville, ON N0K 1G0
phone: 519-870-9849
email: aaron@wozniakwelding.com*

- (b) the Municipality at:

*ATTN: Brad Knight, CAO/Clerk
Municipality of Huron East
72 Main Street South
Seaforth, ON N0K 1W0
phone: 519-527-0160 x 27
email: bknight@huroneast.com*

or such other address of which the parties have notified the other in writing, and any such notice mailed, delivered or sent by facsimile transmission shall be deemed good and sufficient notice under the terms of this Agreement.

8. Registration of Agreement

The Owner hereby consents to the registration of a Notice of this Agreement to the Lands provided that if same cannot be registered on title, the Owner consents to register a Notice of an Unregistered Interest in the Lands in favour of the Municipality upon the title to the Lands. The Municipality agrees to make the original Agreement available for viewing at the Municipal Office. The Owner agrees to pay the Municipality for all costs incurred in the registration of the said notice. The Owner agrees that it will obtain from any Lender of the Owner which, at the time of registration, holds security registered against title to the Lands, the Lender's consent to postpone its security to this Agreement.

9. Termination of Agreement

If the development proposed by this Agreement is not commenced with one (1) year from the date of the execution of this Agreement, the Municipality may, at its sole option and on thirty (30) days notice to the Owner, declare this Agreement null and void and of no further force or effect and the Owner shall not be entitled to any refund of fees, levies or other charges by the Owner pursuant to this Agreement.

10. Enforcement

The Owner acknowledges that the Municipality, in addition to any other remedy it may have at law, shall also be entitled to enforce this Agreement in accordance with s. 446 of the Municipal Act, 2001.

11. Successors and Assigns

This Agreement and everything herein contained shall enure to the benefit of and be binding upon the parties hereto and their successors and assigns.

IN WITNESS WHEREOF the Parties hereto have hereunto affixed their corporate seals duly attested to by their proper signing officers in that behalf.

SIGNED, SEALED AND DELIVERED

) **10368407 CANADA INC.**
)
) _____

Witness

) Aaron Wozniak, President
) ***CORPORATION OF THE***
) ***MUNICIPALITY OF HURON EAST***

)
)
) _____
) Bernie MacLellan, Mayor

)
)
) _____
) Brad Knight, CAO/Clerk

SCHEDULE "A"
SUBJECT LANDS

Lot 18, Plan 133 (Vanastra), Tuckersmith Ward, Municipality of Huron East, County of Huron

Schedule "B"

APPROVED PLANS AND DRAWINGS

The Owner agrees and covenants to construct all buildings, structures, works, services and facilities required under this Agreement in accordance with the below referenced municipally-approved plans and drawings. Plans and drawings may be reviewed in the Municipal Office of the Corporation of the Municipality of Huron East.

4.1 GENERAL ARRANGEMENT SITE PLAN

Identified as : Site Plan Sketch for shop addition for Wozniak Welding and Fabrication
dated June 24th, 2019

Prepared by: BM Ross & Associates Ltd.

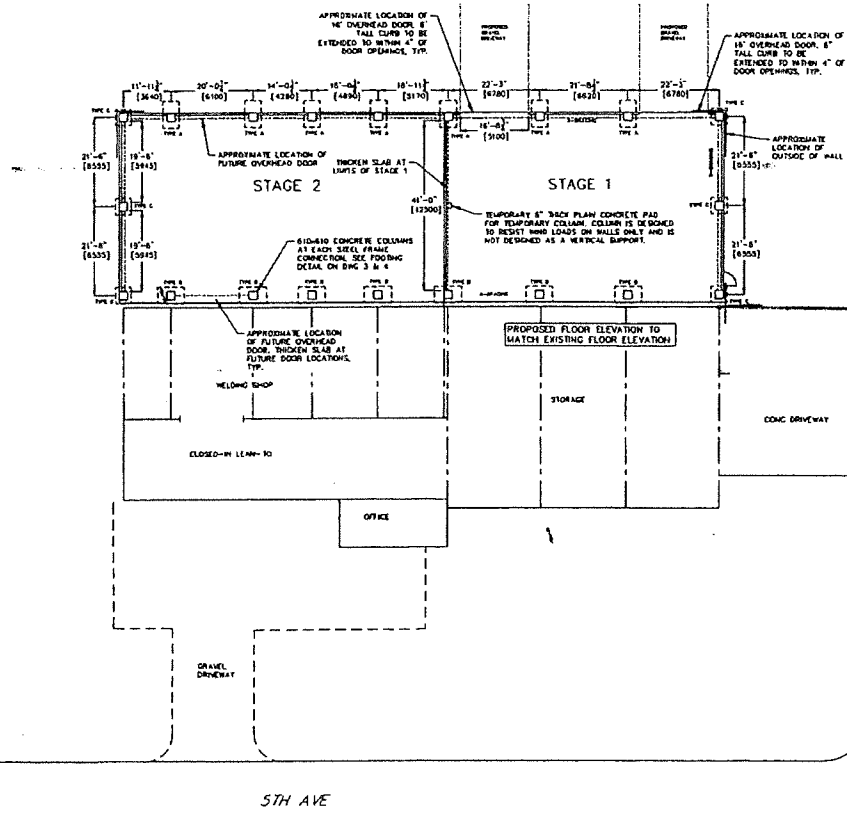
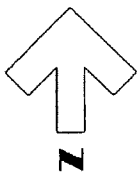
Approved on: July 9th, 2019

4.2 SITE ELEVATIONS AND SERVICING

Identified as : Plan 2 – GA – 0876 – B
dated June 24th, 2019

Prepared by: D. Culbert Ltd., Ontario Land Surveyor

Approved on: July 9th, 2019



10TH ST

5TH AVE

4.1 GENERAL ARRANGEMENT SITE PLAN

Z:\19087\19087_SitePlan_Sketch.dwg, 2019-06-24 10:51:12 AM, 11/12/2019

 BMROSS engineering better communities	Wozniak Welding and Fabrication Shop Addition Site Plan Sketch	DATE June 24, 2019	PROJECT No. 19087
		SCALE (11x17) As Noted	



LOT 8
PIN 41181-0068

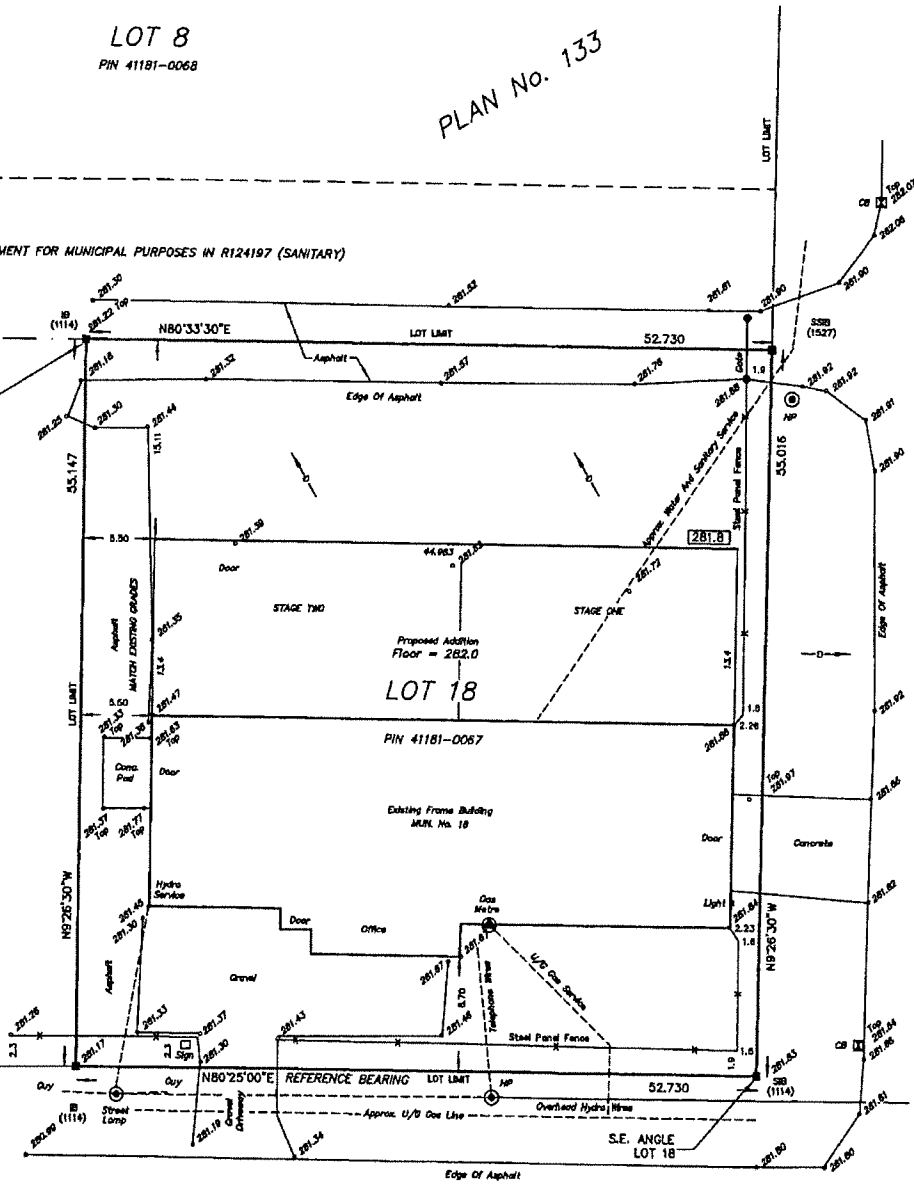
PLAN No. 133

12.192 WIDE EASEMENT FOR MUNICIPAL PURPOSES IN R124197 (SANITARY)

REGISTERED

LOT 17
PIN 41181-0068

SITE BENCH MARK
Top Of Iron Bar
ELEV. = 281.22
(Geodetic-GPS)



5TH AVENUE
(REGISTERED PLAN No. 133 - (30.480 WIDE)
PIN 41181-0003

TOPOGRAPHICAL PLAN OF SURVEY

OF ALL OF
LOT 18
REGISTERED PLAN No. 133
GEOGRAPHIC TOWNSHIP OF TUCKERSMITH
MUNICIPALITY OF HURON EAST
COUNTY OF HURON

SCALE 1:300



Metric

2019

D. CULBERT LTD.
ONTARIO LAND SURVEYOR

NOTES AND LEGEND

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE NORTH LIMIT OF 5TH AVENUE HAVING A BEARING OF N80°25'00"E AS SHOWN ON REGISTERED PLAN No. 133

- DENOTES MONUMENTATION FOUND
- DENOTES MONUMENTATION PLANTED
- SIB DENOTES 2.5cm sq. STANDARD IRON BAR
- SSIB DENOTES 2.5cm sq. SHORT STANDARD IRON BAR
- IB DENOTES 1.6cm sq. IRON BAR
- 1114 DENOTES JOHN METZ, O.L.S.
- 1527 DENOTES D. CULBERT LTD., O.L.S.
- ALL PINS ARE SUFFIXED (LT) UNLESS NOTED (R)

○ 100.00 DENOTES EXISTING SPOT ELEVATION

100.00 DENOTES PROPOSED ELEVATION

→ DENOTES DIRECTION OF SURFACE WATER FLOW

TOTAL LOT AREA = 2903.8 Sq.M.

EXISTING BUILDING AREA = 897.6 Sq.M.

PROPOSED ADDITION AREA = 478.5 Sq.M.

LOT COVERAGE = 40.5%

LOT IS SUBJECT TO R117614

ELEVATIONS ARE GROUND/FINISHED GRADE ELEVATIONS UNLESS NOTED

METRIC: DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

SURVEYOR'S CERTIFICATE:

I CERTIFY THAT:
1) THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT AND THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
2) THE SURVEY WAS COMPLETED ON THE 30TH DAY OF APRIL, 2019

JUNE 24, 2019
GODERICH, ONTARIO

D.A. CULBERT
ONTARIO LAND SURVEYOR

© COPYRIGHT 2019

D. CULBERT LTD.
ONTARIO LAND SURVEYOR
GODERICH, ONTARIO PHONE: 519-524-5321

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
2089985



THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR
In accordance with
Regulation 1028, Section 28(3).

ONTARIO
OGL
LAND SURVEYOR

THIS REPORT WAS PREPARED
FOR WOZNAK WELDING

DRAWN BY: BDCC
CHECKED BY: DAC

DIGITAL FILE: TK1903T1
FILE No: TUC-0133-02-2

PLAN No:
2-GA-0876-B

Schedule "C"

CONDITIONS OF SITE PLAN APPROVAL

1. The Owners covenant and agree to:

- **Access facilities:** The Owner shall install and maintain delineated entrances/exits at all locations shown on the approved drawing. Entrance/exit driveways shall be surfaced with hot-mix asphalt and maintained in accordance with Huron County By-Law 22-2003
- **Maintenance of facilities and works:** The Owner acknowledges and agrees that its obligations hereunder are to construct, install and maintain the works including the replacement or relocation or repair of any of the works which are damaged or altered in connection with the installation of any such infrastructure.
- **Surfacing:** Interior driveways, parking and outside storage areas shall be surfaced with gravel maintained with a suitable dust suppressant or a hard surface of asphalt or concrete.
- **Snow Removal:** All snow that is removed from the entrance/exit driveways, internal driveways, vehicle parking areas, and vehicle manoeuvring areas shall be kept/stored on the subject property and not on any abutting road allowance.
- **Lighting:** Exterior and/or outdoor lighting provided with the use of the subject property shall be located, installed and oriented to prevent glare on the adjacent properties and roadways.
- **Drainage:** Surface water shall be controlled in such a manner that ensures there is no new or additional run-off onto adjacent properties and road right of ways/ roads.
- **Landscaping:** The Owner shall complete (subject to climatic conditions) and maintain landscaping and planting on the lands in accordance with the approved site plan to the satisfaction of the Municipality.
- **Signage:** All signage for the subject property shall comply with the requirements of the Municipality of Huron East Signage By-law.

Schedule "D"

FINANCIAL PAYMENTS

The Owner covenants and agrees to pay to the Municipality, upon execution of this Agreement, the following fees:

1. Legal Fees for the preparation of this Agreement, the registration of this Agreement and the registration of any accessory agreements and documentation necessary to effect this Agreement;
2. Review fees of the Municipality's Engineer for the review of drawings and plans associated with this Agreement.
3. Review Fees by the Planner for the Municipality to conduct a review for compliance with the Municipality's Official Plan and Zoning By-law

Schedule "E"

RELEASE OF SECURITIES

Securities will be released when the building is fully completed and all the site work has been completed as per the Plans and Drawings noted in Schedule "B" in accordance with the following schedule:

- a) all securities will be released upon the issuance of the Occupancy Permit for the Stage I addition and the completion of the boulevard restoration as envisioned in Section 6 of this Agreement.

CORPORATION OF THE MUNICIPALITY OF HURON EAST

SEAFORTH AND TUCKERSMITH WARDS

BY-LAW NO. 52 – 2019

BEING a by-law to amend the zoning on Concession 1, Part Lot 9, Huron Road Survey subject to right of way and easement and Part 4 of Reference Plan 22R2898, Seaforth and Tuckersmith Wards, Municipality of Huron East, known municipally as 42909 Huron Road and 71 Gouinlock Street.

WHEREAS the Corporation of the Municipality of Huron East considers it advisable to amend Zoning By-law 52-2006, as amended.

NOW THEREFORE, the Council of the Corporation of the Municipality of Huron East enacts as follows:

1. This by-law shall apply to Concession 1, Part Lot 9, Huron Road Survey subject to right of way and easement and Part 4 of Reference Plan 22R2898, Seaforth and Tuckersmith Wards, Municipality of Huron East, known municipally as 42909 Huron Road and 71 Gouinlock Street as described and shown on the attached Schedules 1, 2, 3 & 4.
2. By-law 52-2006 is hereby amended by changing General Agriculture (AG1) to General Agriculture Special Zone (AG1-45); changing from Natural Environment (NE1), Floodway (FW), and Community Facility (CF) to Residential Medium Density (R2) Zone, Floodway Special (FW-2) and Floodway Special (FW-3), and changing a portion of the Floodway-Special (FW-1) to Roadway on the attached Schedules 3 and 4.
3. Section 4.11 is hereby amended by the addition of the following:

AG1-45
Notwithstanding provisions to the contrary, in the area zoned AG1-45, the minimum lot size is 7 ha. All other provisions of the By-law shall apply.
4. Section 23.4 is hereby amended by the addition of the following:

FW-2
The area zoned as FW-2, the existing buildings are permitted and the right to reconstruct these structures to a similar proportion if destroyed is recognized. Any alteration of an existing building must be in accordance with Conservation Authority Regulations, through approval of the Ausable-Bayfield Conservation Authority.

In the area zoned FW-2, a landscaping business is permitted as a home industry subject to definition of 'home industry' and the following additional provisions: all storage of machinery will be within or to the rear of existing buildings, storage of landscape related materials (e.g. top soil, mulch, etc.) may be permitted outdoor provided it is screened visually and within a floodproof container.
5. Section 23 is hereby amended by the addition of the following:

FW-3:
In the area zoned FW-3, existing residential uses are permitted. A detached garage is permitted in the front yard of the existing dwelling provided the building is located a minimum of 15 metres from the Gouinlock Street road allowance, has no habitable space and is in accordance with the Ausable Bayfield Conservation Authority permit. The right to reconstruct these structures to a similar proportion if destroyed is recognized. Any alteration of an existing building must be in accordance with Conservation Authority Regulations, through approval of the Ausable-Bayfield Conservation Authority.
6. Key Maps 42 and 66, Schedule A, By-law 52-2006 is hereby replaced with amended Key Maps 42 and 66 (as shown with increased detail) attached hereto, which is declared to be part of the by-law.
7. All other provisions of By-law 52-2006 shall apply.
8. This by-law shall come into force upon final passing, pursuant to Section 34(21) of the Planning Act, RSO 1990, as amended.

READ A FIRST TIME ON THE 16th DAY OF July 2019.

READ A SECOND TIME ON THE 16th DAY OF July 2019.

READ A THIRD TIME AND PASSED THIS 16th DAY OF July 2019.

Bernie MacLellan, Mayor

Brad Knight, Clerk/CAO

SCHEDULE 1

CORPORATION OF THE MUNICIPALITY OF HURON EAST

SEAFORTH AND TUCKERSMITH WARDS

BY-LAW NO. 52 – 2019

1. By-law - 2019 has the following purpose and effect:

This proposed Zoning By-law Amendment affects Concession 1, Part Lot 9, Huron Road Survey subject to right of way and easement and Part 4 of Reference Plan 22R2898, Seaforth and Tuckersmith Wards, Municipality of Huron East, known municipally as 42909 Huron Road and 71 Gouinlock Street.

The By-law proposes to change the zoning in several ways:

Firstly, to recognize deficient agricultural area as a result of consent C61-2018. The Huron East Zoning By-law requires that agricultural parcels are a minimum of 18 hectares (45 acres). Due to the division of this parcel between the Seaforth and Tuckersmith Wards, the agricultural parcel created is 7 hectares (17.3 acres).

Secondly, to correct the mapping on 42909 Huron Road from Natural Environment (NE1), Floodway (FW), and Community Facility (CF) Zones to Residential (R2) and Floodway Special (FW-2) Zones and to permit a home industry (specifically, a landscaping business) in the Special Floodway Zone (FW-2).

Finally, to permit the construction of a garage in the floodway and in the front yard of 71 Gouinlock Street, at a distance of 15 metres from the roadway. This involves the creation of a special Floodway Zone (FW-3). The portion of the existing street which is directly north of 71 Gouinlock is currently owned by the abutting farm property with which 71 Gouinlock is required to merge as a condition of consent C61/2018. A portion of the street will be conveyed to the Municipality, also as a condition of consent C61/2018.

Attached is a sketch which outlines the proposed garage location on 71 Gouinlock Street.

This by-law amends the Zoning By-law of the Municipality of Huron East 52-2006.

All other zone provisions apply.

2. A Location Map and Key Map showing the location of the lands to which this by-law applies are shown on the following pages and are entitled Schedules 2, 3 & 4.

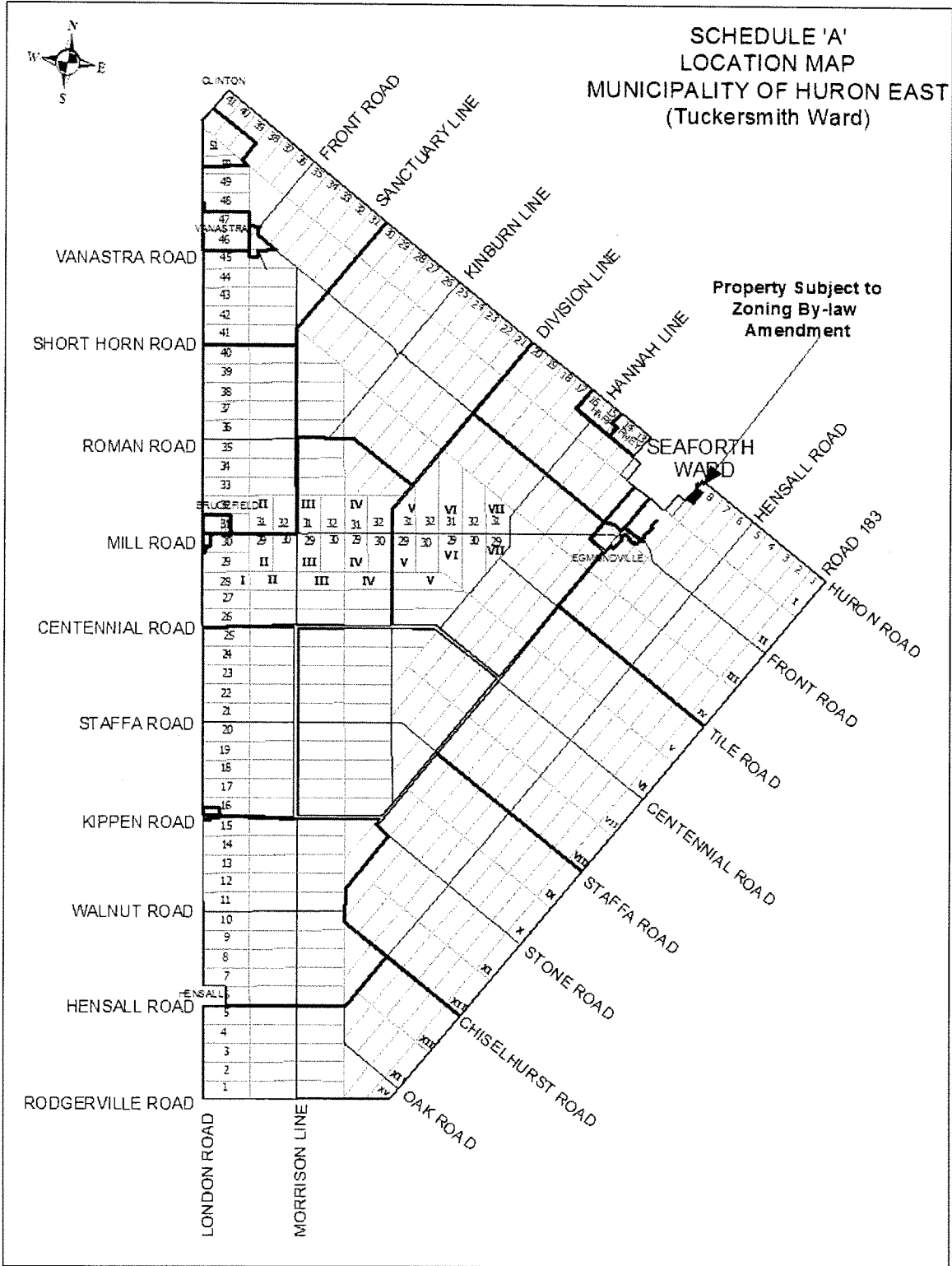
**Roll No. 4040 390 016 00100
4040 160 001 01900
4040 390 016 00800**

SCHEDULE 2

CORPORATION OF THE MUNICIPALITY OF HURON EAST

SEAFORTH AND TUCKERSMITH WARDS

BY-LAW NO. 52 – 2019



READ A FIRST TIME ON THE 16th DAY OF July 2019.

READ A SECOND TIME ON THE 16th DAY OF July 2019.

READ A THIRD TIME AND PASSED THIS 16th DAY OF July 2019.

Bernie MacLellan, Mayor

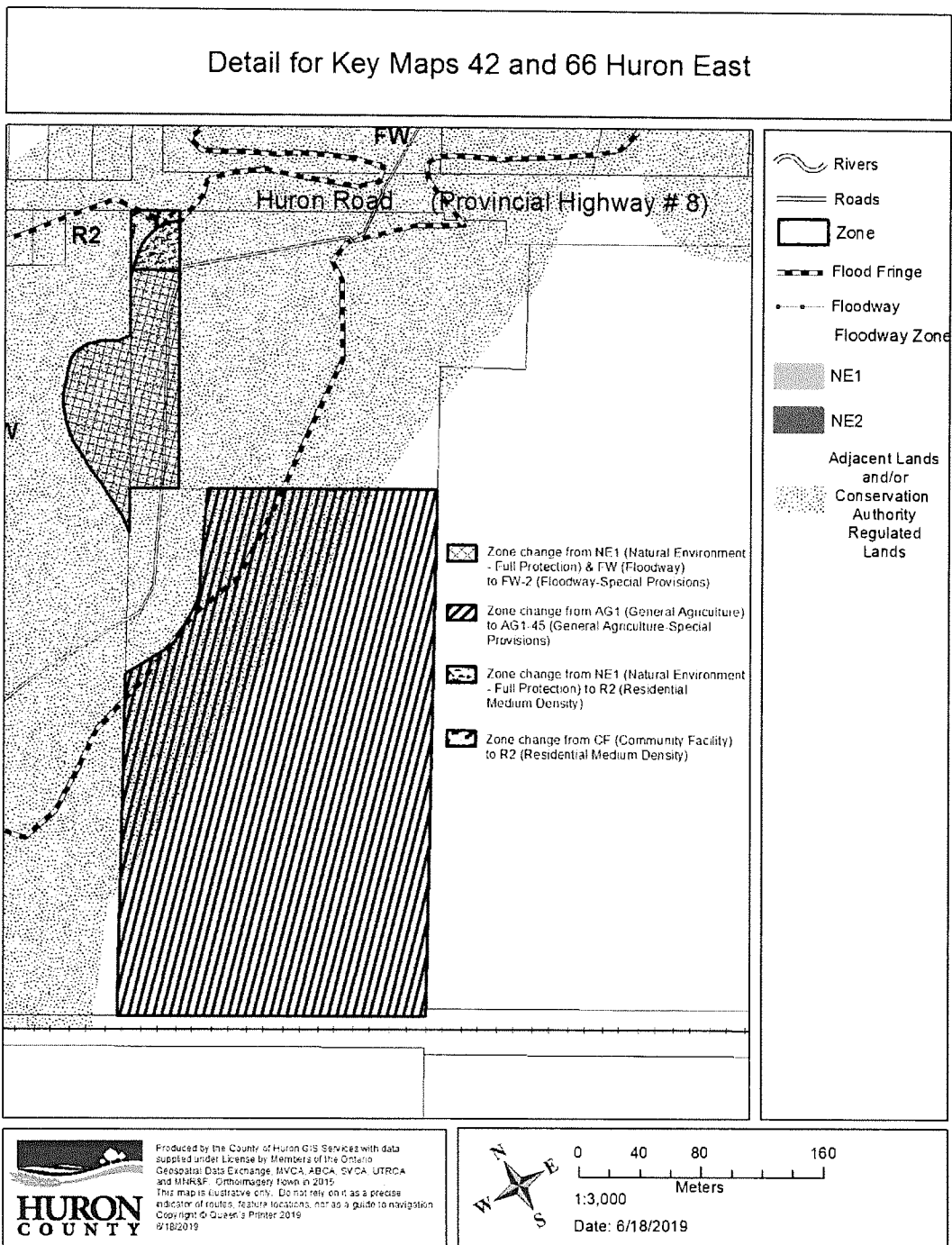
Brad Knight, Clerk/CAO

SCHEDULE 3

CORPORATION OF THE MUNICIPALITY OF HURON EAST

SEAFORTH AND TUCKERSMITH WARDS

BY-LAW NO. 52 – 2019



READ A FIRST TIME ON THE 16th DAY OF July 2019.

READ A SECOND TIME ON THE 16th DAY OF July 2019.

READ A THIRD TIME AND PASSED THIS 16th DAY OF July 2019.

Bernie MacLellan, Mayor

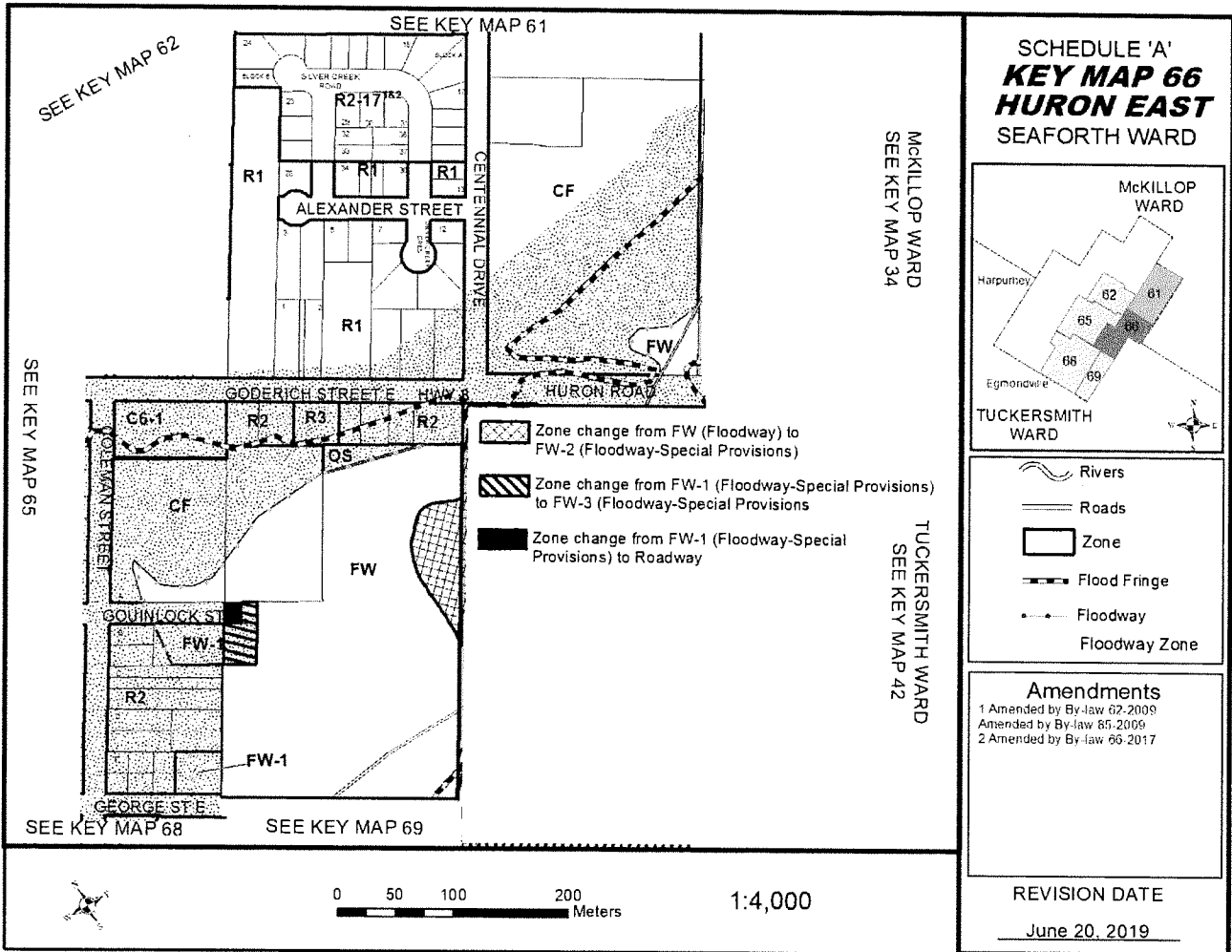
Brad Knight, Clerk/CAO

SCHEDULE 4

CORPORATION OF THE MUNICIPALITY OF HURON EAST

SEAFORTH AND TUCKERSMITH WARDS

BY-LAW NO. 52 – 2019



READ A FIRST TIME ON THE 16th DAY OF July 2019.
 READ A SECOND TIME ON THE 16th DAY OF July 2019.
 READ A THIRD TIME AND PASSED THIS 16th DAY OF July 2019.

Bernie MacLellan, Mayor

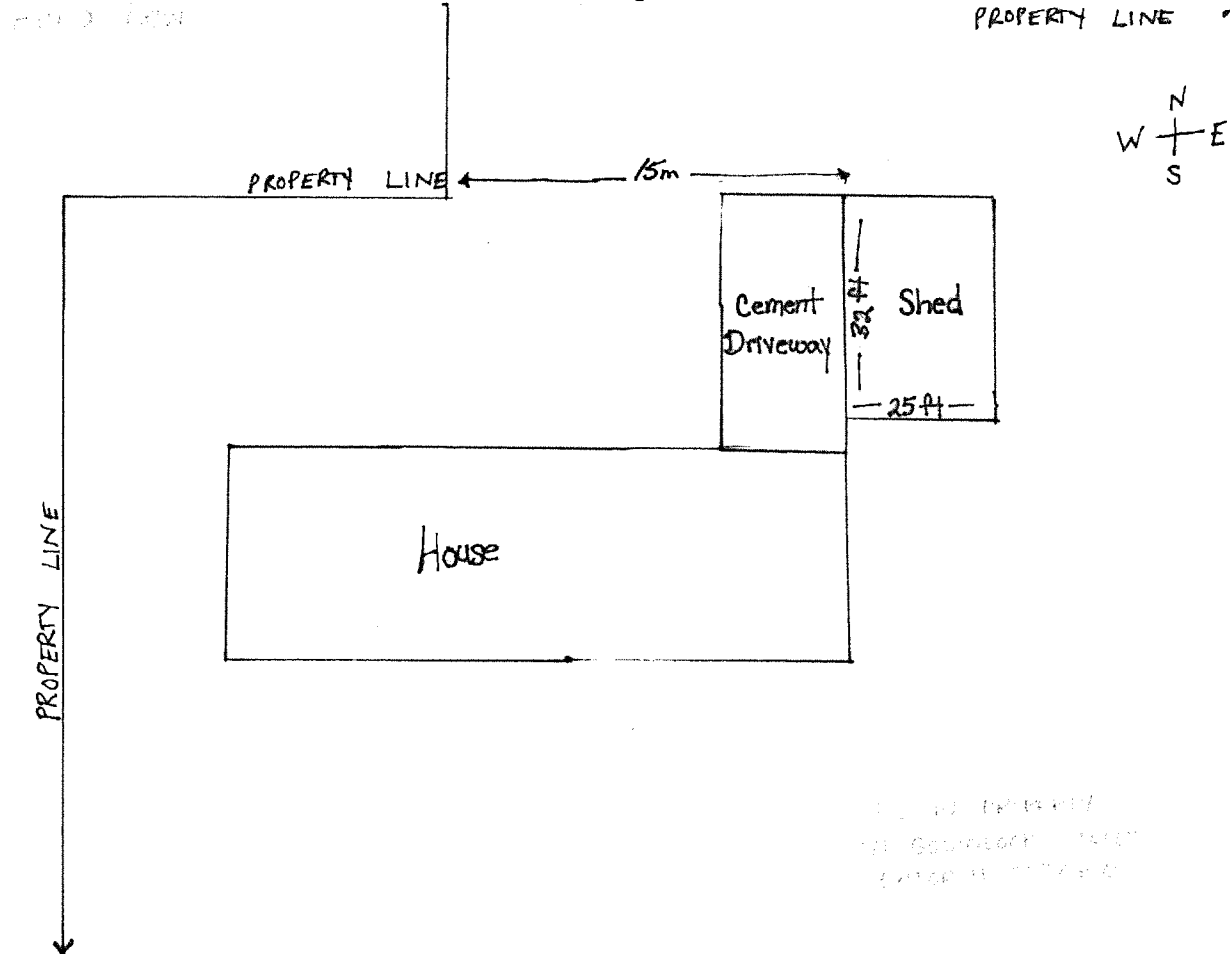
Brad Knight, Clerk/CAO

CORPORATION OF THE MUNICIPALITY OF HURON EAST

SEAFORTH AND TUCKERSMITH WARDS

BY-LAW NO. 52 – 2019

Appendix A: Location of Proposed Detached Garage/Shed on 71 Gouinlock Street



READ A FIRST TIME ON THE 16th DAY OF July 2019.

READ A SECOND TIME ON THE 16th DAY OF July 2019.

READ A THIRD TIME AND PASSED THIS 16th DAY OF July 2019.

Bernie MacLellan, Mayor

Brad Knight, Clerk/CAO

CORPORATION OF THE MUNICIPALITY OF HURON EAST

ALL WARDS

BY-LAW NO. 53 – 2019

BEING a by-law to amend the Comprehensive Zoning By-law of the Municipality of Huron East (By-law 52-2006).

WHEREAS the Corporation of the Municipality of Huron East considers it advisable to amend Zoning By-law 52-2006, as amended.

NOW THEREFORE, the Council of the Corporation of the Municipality of Huron East enacts as follows:

1. This by-law shall apply to all lands within the Municipality of Huron East;
2. Section 2 (Definitions) is hereby amended by the addition of the following:

“AIR TREATMENT CONTROL” shall mean the functional use of industrial grade multi-stage carbon filtration system, or similar technology, to reduce and/or treat the emission of pollen, dust and odours expelled from a facility and sized accordingly in comparison to the facility it serves as designed by a qualified person.

“CANNABIS” shall mean the plants hemp and marijuana in the family Cannabaceae.

“CANNABIS PRODUCTION FACILITY” means lands, buildings or structures used for producing, processing, testing, destroying, packaging and/or shipping of cannabis authorized by an issued license or registration by the federal Minister of Health, pursuant to the Access to Cannabis for Medical Purposes Regulations, SOR/2016-230, to the Controlled Drugs and Substances Act, SC 1996, c 19, as amended from time to time, or any successors thereto.

3. Section 2 (Definitions) is hereby amended by the deletion and replacement of the definitions of ‘Agricultural Use’ and ‘Agricultural Use, Limited’ with the following:

AGRICULTURAL USE, GENERAL - means general farming and without limiting the generality of the foregoing shall include such uses as: the general cultivation of land and the associated production, conditioning, processing and storage of field crops, vegetables, fruit, horticultural crops and nursery stock and the selling of such produced on the premises, the breeding and care of livestock, fowl, fur-bearing animals and bees, and the selling of such stock or the product of such stock raised on the premises, and the management of forest, and the sale of forest products, including fuel wood, pulp wood, timber, Christmas trees, and maple products, and includes a farm dwelling and accessory buildings and uses but does not include a cannabis production facility.

AGRICULTURAL USE, LIMITED - means the planting and harvesting of field, bush, vine, forest, or tree crops and grazing not including an accessory residence, livestock building or cannabis production facility.

4. Section 3 (General Provisions) is hereby amended by the addition of the following:

3.52 Cannabis Production Facility

Notwithstanding any other provision of this By-law, any Cannabis Production Facility shall be subject to the following provisions:

a) No lands, building or structure or portion thereof used for Cannabis Production Facility purposes that is equipped with air treatment control situated in the Industrial (IND) or Agricultural Zones (AG1, AG2, AG3) may be located closer to Residential Zone, Community Facility Zone, park or similar recreational use, dwelling, public school, private school, place of worship, or day care than 150 metres.

b) No lands, building or structure or portion thereof used for Cannabis Production Facility purposes that is not equipped with air treatment control situated in the Industrial (IND) or Agricultural Zones (AG1, AG2, AG3) may be located closer to Residential Zone, Community Facility Zone, park or similar recreational use, dwelling, public school, private school, place of worship, or day care than 300 metres.

c) A building or structure used for security purposes for Cannabis Production Facility may be located in the required front yard and does not have to comply with the required minimum front yard, side yard, and rear yard setbacks.

d) Outdoor storage is prohibited on the property in which the Cannabis Production Facility is located.

- e) Cannabis Production Facility shall only be permitted within the zones as explicitly indicated in this Zoning By-law.
 - f) Setback requirements do not apply to dwellings located on the same parcel as the cannabis production facility.
 - g) All development in relation to the establishment of or expansion to a Cannabis Production Facility shall be subject to Site Plan Control.
5. Section 4.1 is hereby amended by the addition of the following: 'cannabis production facility subject to the provisions of Sections 4 and 3.52'.
 6. Section 5.1 is hereby amended by the addition of the following: 'cannabis production facility subject to the provisions of Sections 5 and 3.52'.
 7. Section 6.1 is hereby amended by the addition of the following: 'cannabis production facility subject to the provisions of Sections 6 and 3.52'.
 8. Section 32.1 is hereby amended by the addition of the following: 'cannabis production facility subject to the provisions of Sections 32 and 3.52'.
 9. Sections 18.4, 19.5, 19.6, 19.7, 20.4, 20.5, and 20.6 are hereby amended by the insertion of the following for 'Front Yard Depth':
 - For properties located within the boundaries of urban settlement areas, the front yard setback from a County Road is 6 metres.
 10. All other provisions of By-law 52-2006 shall apply.
 11. This by-law shall come into force upon final passing, pursuant to Section 34(21) of the Planning Act, RSO 1990, as amended.

READ A FIRST TIME ON THE 16th DAY OF July 2019.

READ A SECOND TIME ON THE 16th DAY OF July 2019.

READ A THIRD TIME AND PASSED THIS 16th DAY OF July 2019.

Bernie MacLellan, Mayor

Brad Knight, Clerk/CAO

SCHEDULE 1

CORPORATION OF THE MUNICIPALITY OF HURON EAST

BY-LAW NO. 53 – 2019

1. By-law No. 53 – 2019 has the following purpose and effect:

There are two purposes of the proposed housekeeping amendment:

- (i) to introduce zoning provisions for cannabis production facilities; and
 - (ii) to clarify the front yard setback for dwellings within urban settlement areas is 6 metres from municipal or County roads.
2. This by-law affects all lands within the Municipality of Huron East and amends the Comprehensive Zoning By-law (By-law 52-2006) of the Municipality of Huron East.

**THE CORPORATION
OF THE
MUNICIPALITY OF HURON EAST
BY-LAW NO. 54 FOR 2019**

Being a by-law to confirm the proceedings of the Council of
the Corporation of the Municipality of Huron East.

WHEREAS, the Municipal Act, S. O. 2001, c. 25, as amended, s. 5 (3) provides municipal power, including a municipality's capacity, rights, powers and privileges under section 8, shall be exercised by by-law unless the municipality is specifically authorized to do otherwise;

AND WHEREAS, the Municipal Act, S. O. 2001, c.25, as amended, s. 8 provides a municipality the capacity, rights, powers and privileges of a natural person for the purpose of exercising its authority under this or any other Act;

AND WHEREAS it is deemed expedient that the proceedings of the Council of the Corporation of the Municipality of Huron East at this meeting be confirmed and adopted by By-Law;

NOW THEREFORE the Council of the Corporation of the Municipality of Huron East
ENACTS AS FOLLOWS:

1. The action of the Council of the Corporation of the Municipality of Huron East, at its meeting held on the 16th day of July, 2019 in respect to each recommendation contained in the Reports of the Committees and each motion and resolution passed and other action taken by the Council of the Corporation of the Municipality of Huron East at these meetings, is hereby adopted and confirmed as if all such proceedings were expressly embodied in this by-law.
2. The Mayor and the proper officials of the Corporation of the Municipality of Huron East are hereby authorized and directed to do all things necessary to give effect to the action of the Council of the Corporation of the Municipality of Huron East referred to in the proceeding section hereof.
3. The Mayor and the Clerk are authorized and directed to execute all documents necessary in that behalf and to affix thereto the Seal of the Corporation of the Municipality of Huron East.

READ a first and second time this 16th day of July, 2019.

READ a third time and finally passed this 16th day of July, 2019.

Bernie MacLellan, Mayor

Brad Knight, CAO/Clerk